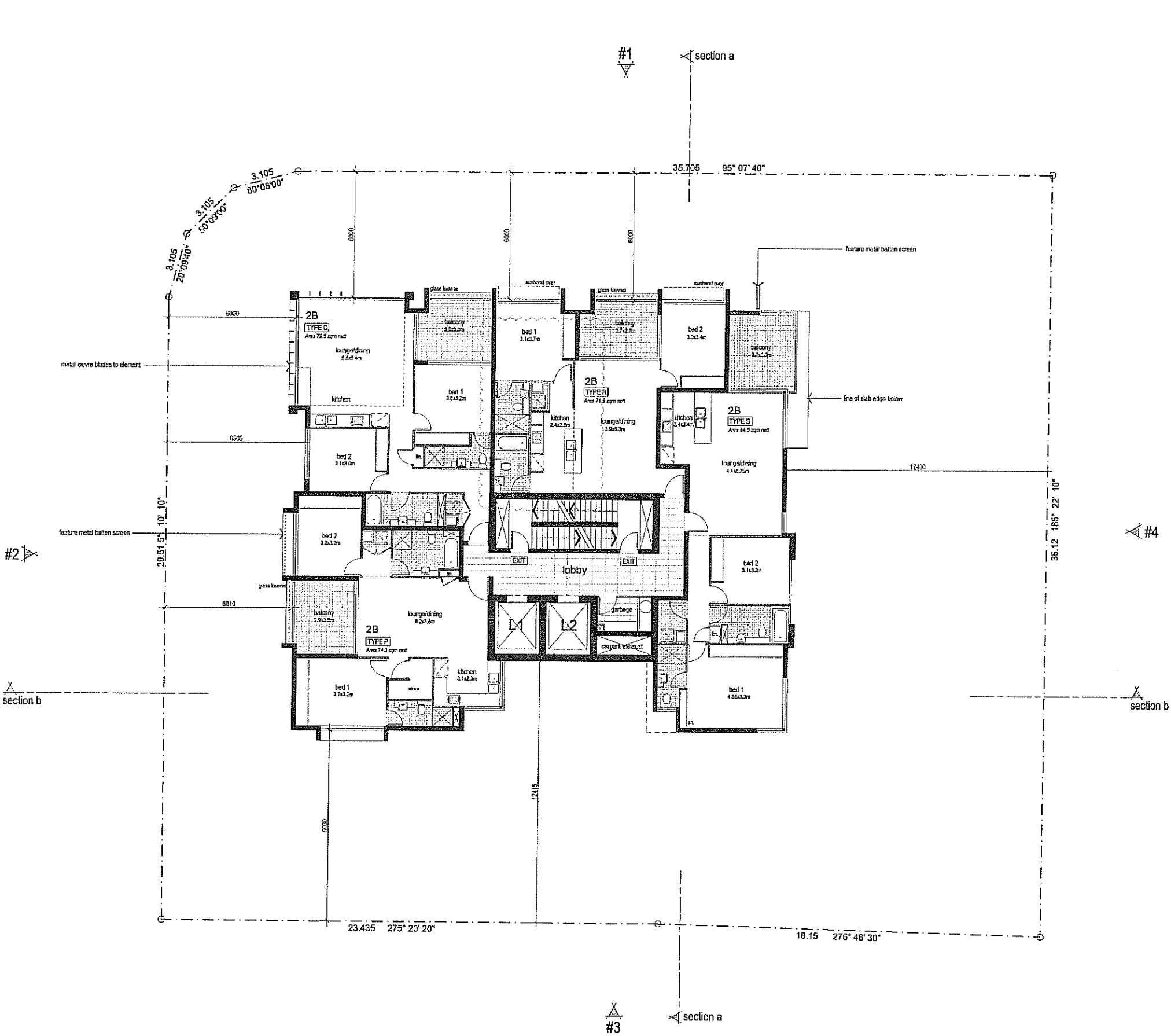


Typical Tower Levels 19 to 23



Legend		
	Structural Floor Level	
	Finished Reduced Level	

C. Amended to DWP Recommendations	04.06.11
B. Amended for E20 Calculations	04.04.11
A. Development Application Issue	11.03.11
PI. Prelim. Issue to Client	08.02.11

Issue description	Date
-------------------	------

architex
Hyattsville Pty Ltd 1105 Architex
csm 132 003 316 142

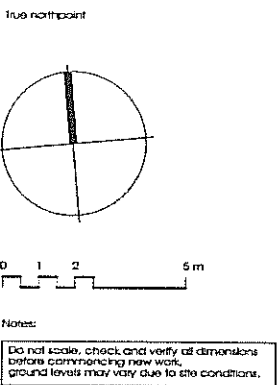
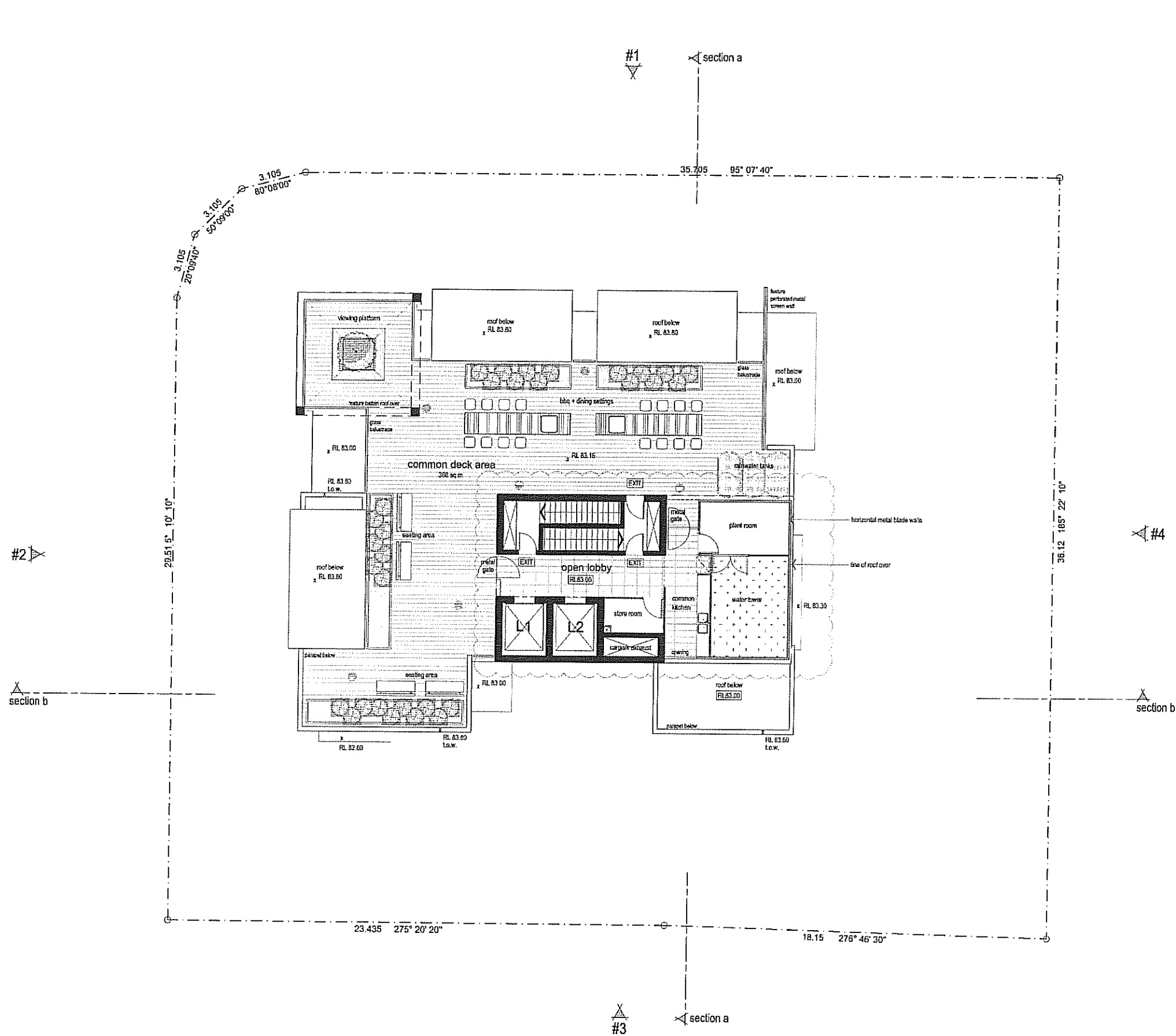
55 Cowper Street,
Granville, 2142
email@architex.com.au
www.architex.com.au

Tel. 9633 5088
Fax 9897 1606

DEVELOPMENT APPLICATION

Project		
Development Application Mixed Use Development		
Project address		
29 Hunter Street Parramatta		
Client		
Geldama Pty. Ltd.		
Title		
Typical Tower Levels 19 to 23		
Drawn	Scale	Checked
pdp	1:100@A1	
Job No.	Drawing No.	Issue
1941	DA15	C

Roof Terrace Level 24



Issue description	Date
C. Amended to DTP Recommendations	04.06.11
B. Amended to FSI Calculations	04.04.11
A. Development Application Issue	11.02.11
P1. Prelim. Issue to Client	06.02.11

architex
Residential and Commercial Architects
Architects 32/033 315 142

35 Cowper Street,
Granville, 2142
arnold@architex.com.au
www.architex.com.au

Tel: 9652 5088
Fax: 9897 1606

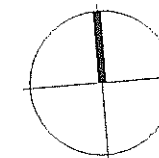
Project		Development Application Mixed Use Development	
Project address		29 Hunter Street Paramatta	
Client		Geldama Pty. Ltd.	
Title		Roof Terrace Level 24	
Drawn	Scale	Checked	
pdp	1:100@A1		
Job No.	Drawing No.	Issue	
941	DA16	C	

DEVELOPMENT APPLICATION

Landscape Details: Refer to Landscape Drawings
Stormwater Details + Site Levels: Refer to Hydraulic Eng. Drawings
Legend
Structural Floor Level
Finished Reduced Level

HUNTER STREET

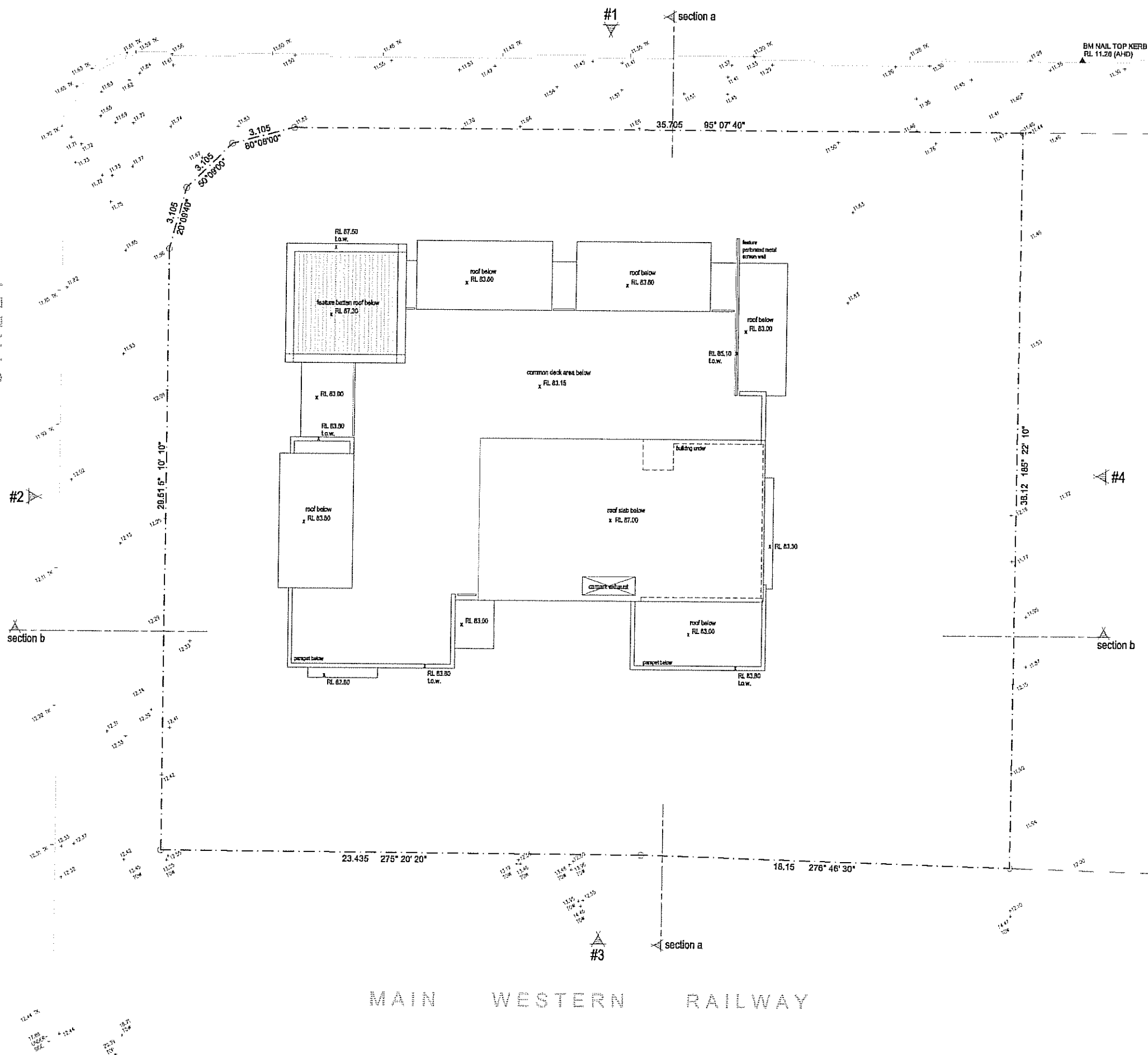
True northpoint



0 1 2 6 m

Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

O'CONNELL STREET



MAIN WESTERN RAILWAY

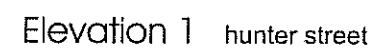
Roof Plan

Legend		
XXXXX	Structural Floor Level	
XXXXX	Finished Reduced Level	

A Development Application Issue	11.03.11
P1 Prelim. Issue to Client	08.02.11
Issue description	Date
 architex Sydney Pty Ltd t/as Architex abn 32 003 315 142 55 Collyer Street, Granville, 2142 email@architex.com.au www.architex.com.au	
Tel. 9462 5088 Fax 9397 1606	

DEVELOPMENT APPLICATION	Project	Development Application Mixed Use Development
	Project address	29 Hunter Street Parramatta
	Client	Geldama Pty, Ltd.
	Title	Roof Plan
	Drawn	pdp
Scale	1:100@A1	Checked
Job No	1941	Drawing No
	DA17	Issue
		A

PA	PAINT FINISH 1 Dulux Vivid White PW1.H0	FA	FEATURE METAL SCREENS MetalART "Supabaton" Custom Finish Scratched Aluminium
PF	PAINT FINISH 2 Dulux Triton PG2.C5	SA	SUNHOODS - VERTICAL BLADES Aluminium Wire Architectural Mesh Profile
PG	PAINT FINISH 3 Dulux Warmth P09.G5	SC	BALUSTRADE + PRIVACY SCREENS MetalART "Supalux" Woodgrain Finish Bush Cherry
CI	CLADDING SYSTEM 1 Alucobond Composite Panel Grey Metallic 502	SL	BALCONY LOUVRE SCREENS Hunter Douglas Sun Control Natural Aluminium Finish
CV	CLADDING SYSTEM 2 Alucobond Composite Panel "natural" Brushed 400	ST	BALUSTRADES + HANDRAILS + PERGOLAS Dulux Powdercoat Precious Silver Pearl Granite
FI	TILE FINISH 1 Sandstone Wall Panels White Finish	TA	GLASS BALUSTRADES Pikington Glass Optional Grey Tint
TF	TILE FINISH 2 Austan Stacked Stone Jurassic Strata DY-88006		



Elevation 2 o'connell street

*** 50m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***

A Development Application Issue P1 Admin Issue to Client		11/03/11 08/02/11
Issue description		Issue

architex

Elevations Pty Ltd t/a Architex
attn: 32 003 315 142

55 Caspary Street,
Glenwood, 2142

Tel: 9582 5048
Fax: 9597 1626

email: info@architex.com.au
www.architex.com.au

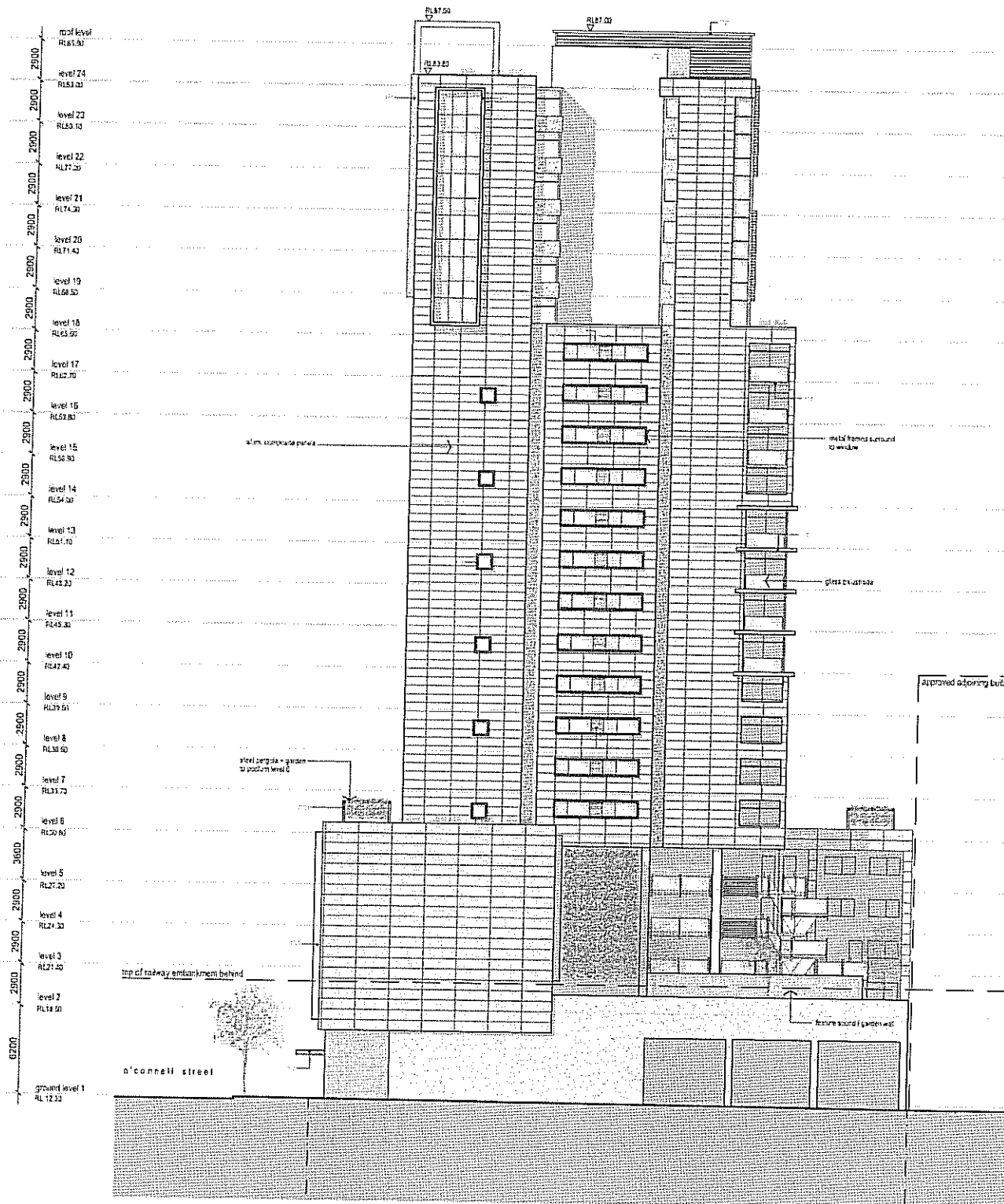
Project		
Development Application Mixed Use Development		
Project address		
29 Hunter Street Parramatta		
Client		
Geldama Pty. Ltd.		
Site		
Elevations 1 + 2		
Drawn	Scale	Checked
pdp	1:200@A1	
Scale No	Drawing No	Issue
1941	DA18	A

LEGEND
EXTERNAL MATERIALS AND FINISHES

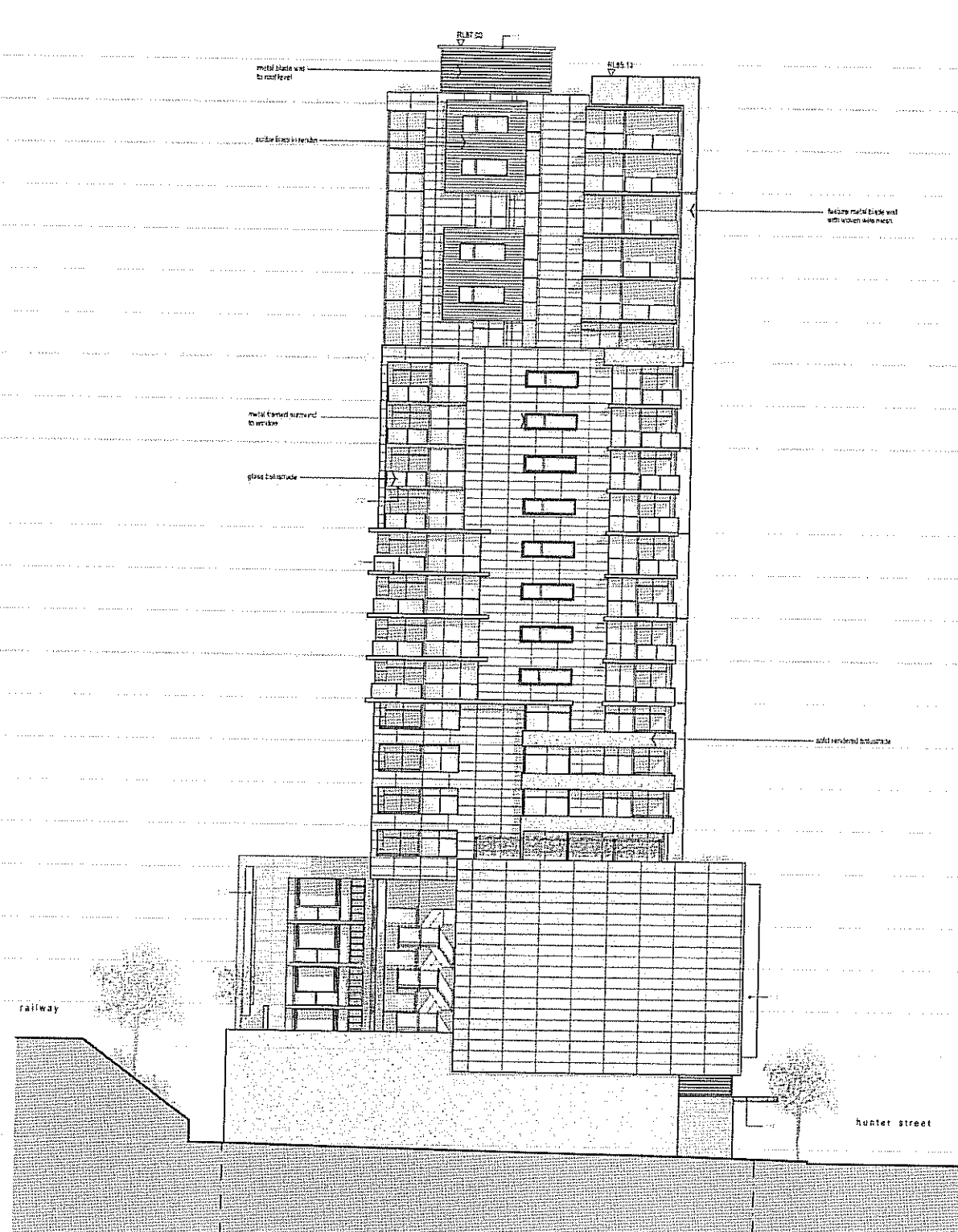
P1	PAINT FINISH 1 Dulux Vivid White PW1.H9	P10	FEATURE METAL SCREENS MetalART "Supabatten" Custom Finish Scratched Aluminium
P2	PAINT FINISH 2 Dulux Tristar PG2.C5	P11	SUNHOODS + VERTICAL BLADES Aluminium Wire Architectural Mesh Profile
P3	PAINT FINISH 3 Dulux Warmth PD9.G9	P12	BALUSTRADE + PRIVACY SCREENS MetalART "Supabatten" Woodgrain Finish Bush Cherry
C1	CLADDING SYSTEM 1 Alucobond Composite Panel Grey Metallic 502	P13	BALCONY LOUVRE SCREENS Hunter Douglas Sun Control Natural Aluminium Finish
C2	CLADDING SYSTEM 2 Alucobond Composite Panel "natural" Brushed 400	P14	BALUSTRADES + HANDRAILS + PERGOLAS Dulux Powdercoat Precious Silver Pearl Kinetic
T1	TILE FINISH 1 Sandstone Wall Panels White Finish	P15	GLASS BALUSTRADES Pikington Glass Optiloft Grey Fin
T2	TILE FINISH 2 Aachen Stacked Stone Jurassic Strata DY-80000		

"Building Height Line"

"Building Height Line"



Elevation 3



Elevation 4

Elevations

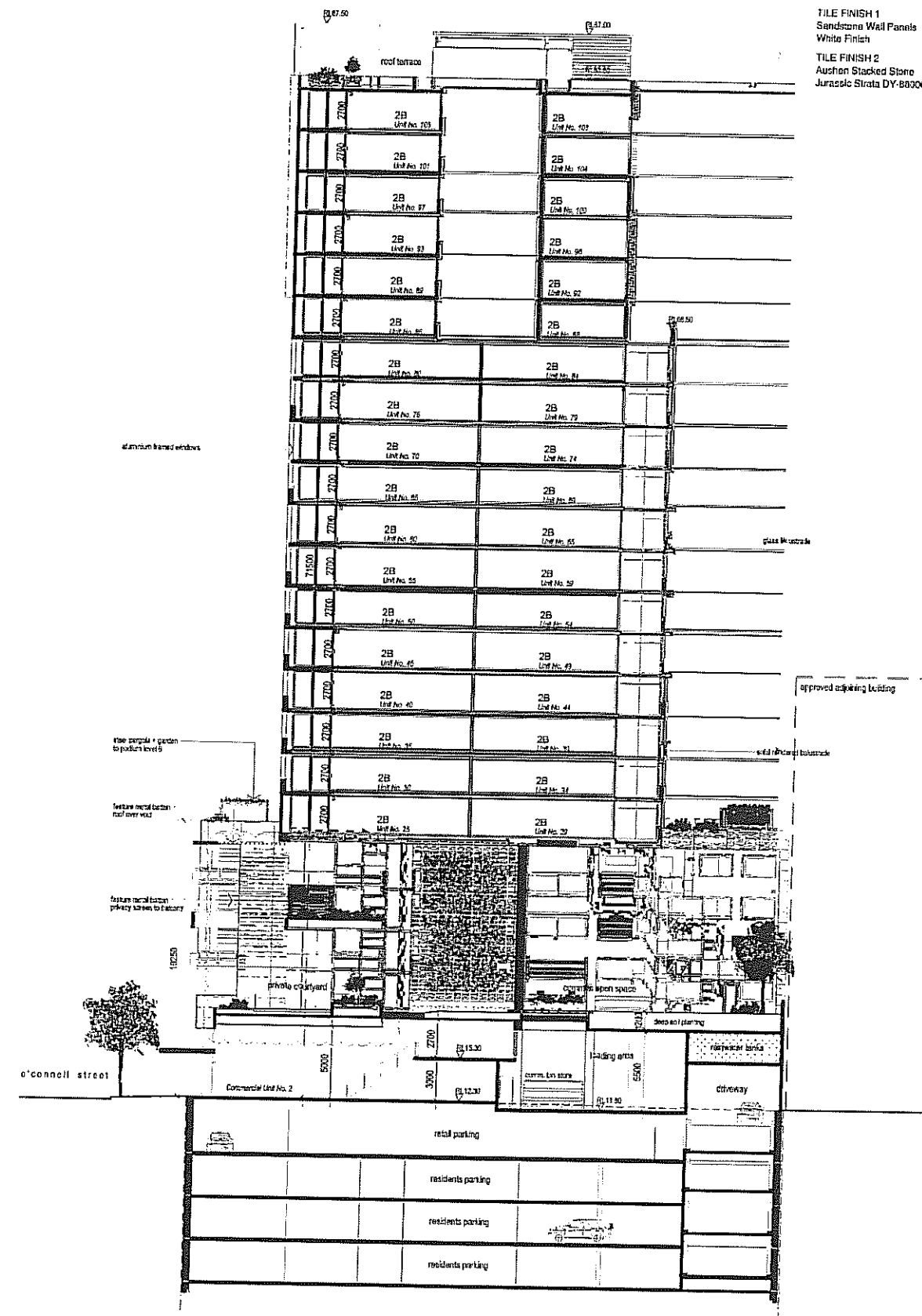
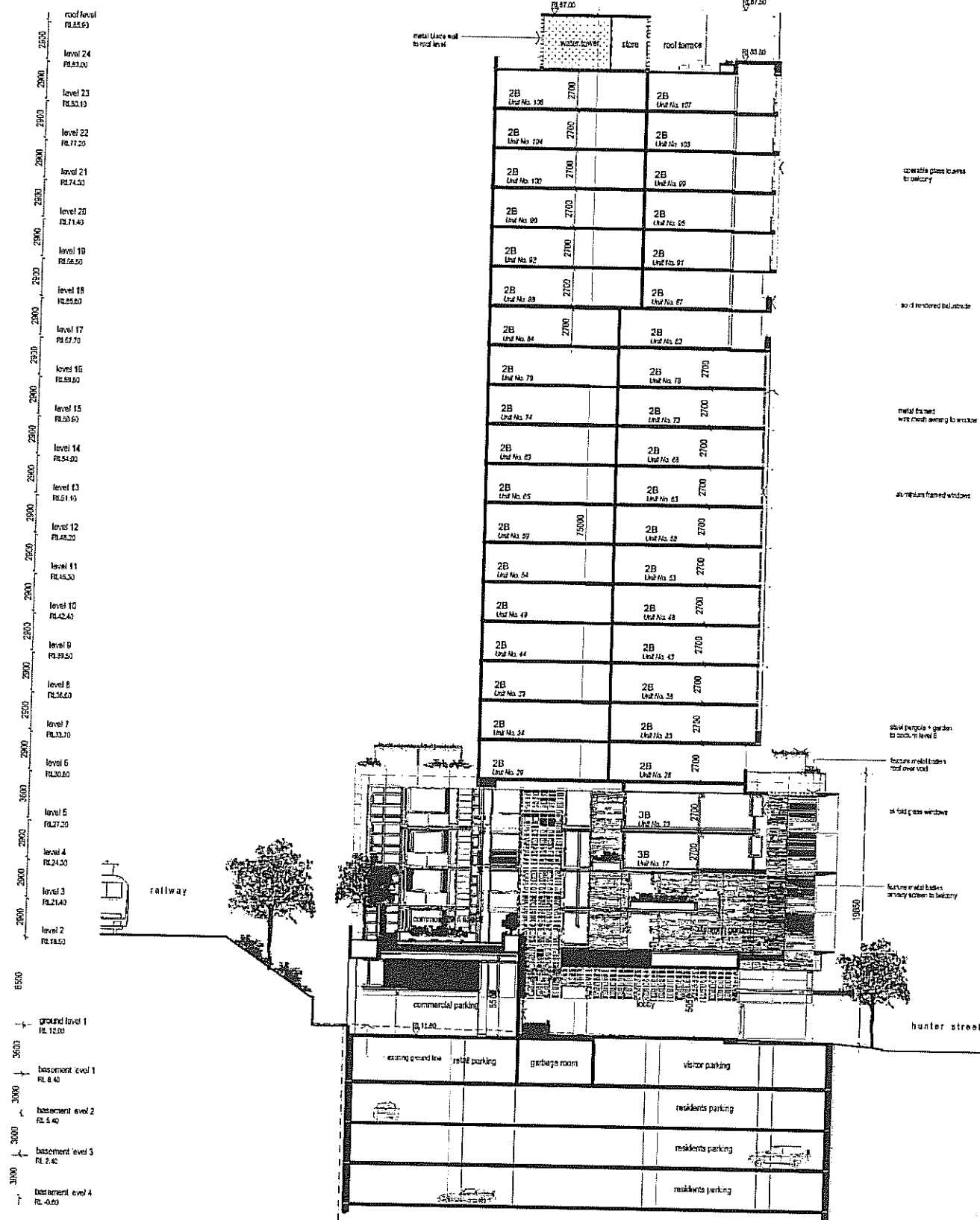
*** 80m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***

A - Development Application Issues	11.03.11
P1 - Point - Issue to Client	06.02.11
Issue description	Date

architex
Architect Pty Ltd t/as Architex
asn 32 003 315 142
55 Cowper Street,
Glenview, 2142
email@architex.com.au
www.architex.com.au

Tel: 9652 5088
Fax: 9697 1636

Project	Development Application Mixed Use Development	
Project address	29 Hunter Street Parramatta	
Client	Geldama Pty. Ltd.	
Title	Elevations 3+4	
Drawn	Scale	Checked
pdp	1:200@A1	
Job No.	Drawing file	Issue
1941	DA19	A



LEGEND EXTERNAL MATERIALS AND FINISHES

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PAINT FINISH 2 Dulux Tristar PG2.C5	Custom Finish Scratched Aluminium
PAINT FINISH 3 Dulux Warmth P09.G9	SUNHOODS + VERTICAL BLADES Aluminium Wire Architectural Mesh Profile
CLADDING SYSTEM 1 Alucobond Composite Panel Grey Metallic 502	BALUSTRADE + PRIVACY SCREENS MetalART "Supralat"
CLADDING SYSTEM 2 Alucobond Composite Panel natural Brushed 400	Woodgrain Finish Bush Cherry
TILE FINISH 1 Sandstone Wall Panels White Finish	BALCONY LOUVRE SCREENS Hunter Douglas Sun Control Natural Aluminium Finish
TILE FINISH 2 Aushen Stacked Stone Jurassic Strata DY-88906	BALUSTRADES + HANDRAILS + PERGOLAS Dulux Powdercoat Precious Silver Pearl Kinetic
	GLASS BALUSTRADES Pilkington Glass Optifloat Grey Tint

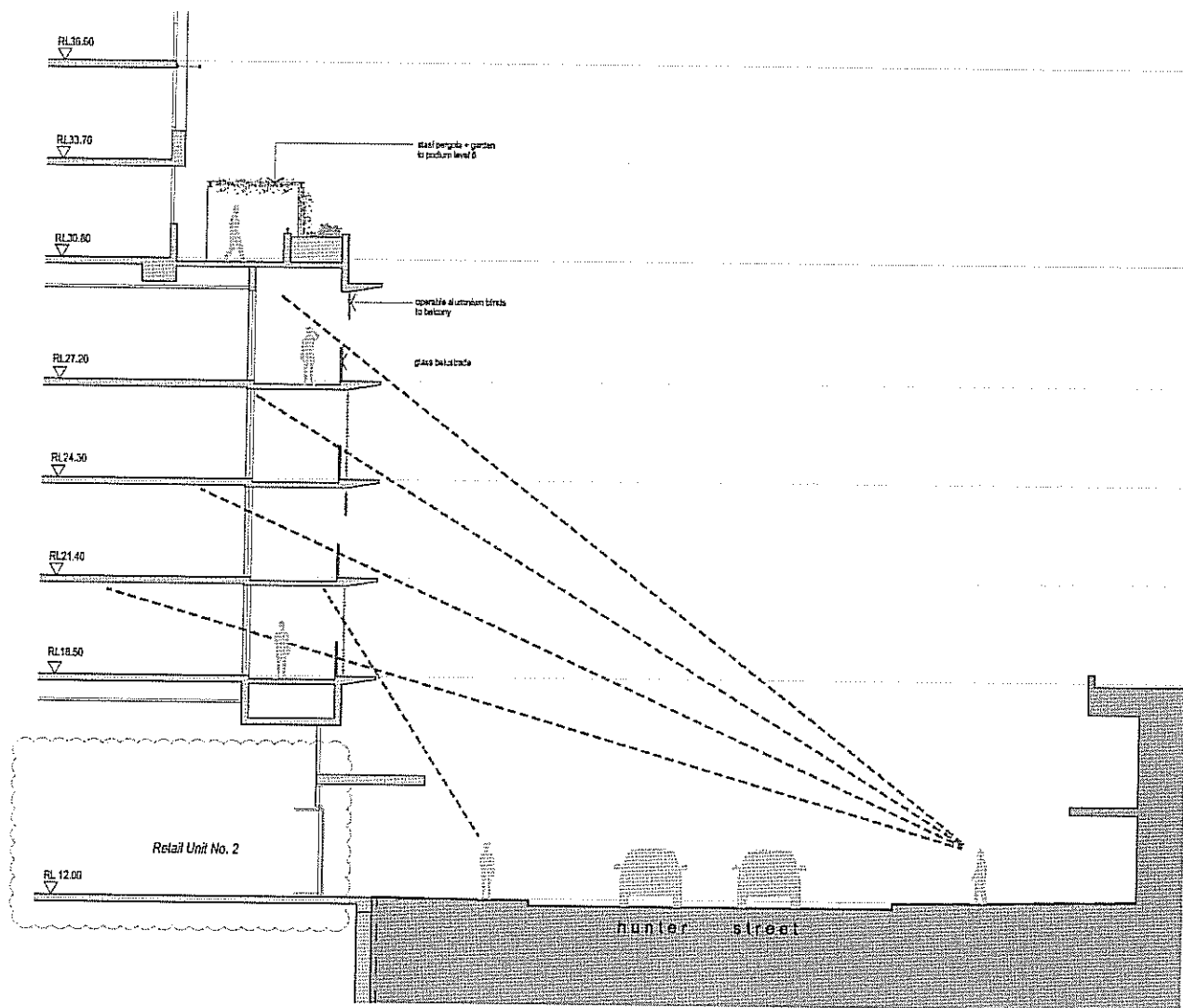
C. Amended to DCP Recommendations	04.06.11
B. Amended for FSR Occurrences	04.04.11
A. Development Application Issue	11.03.11
P1. Prelim. Issue to Client	03.02.11

architex
Pty Ltd
55 Campbell Street,
Granville, 2142
email@architex.com.au
www.architex.com.au

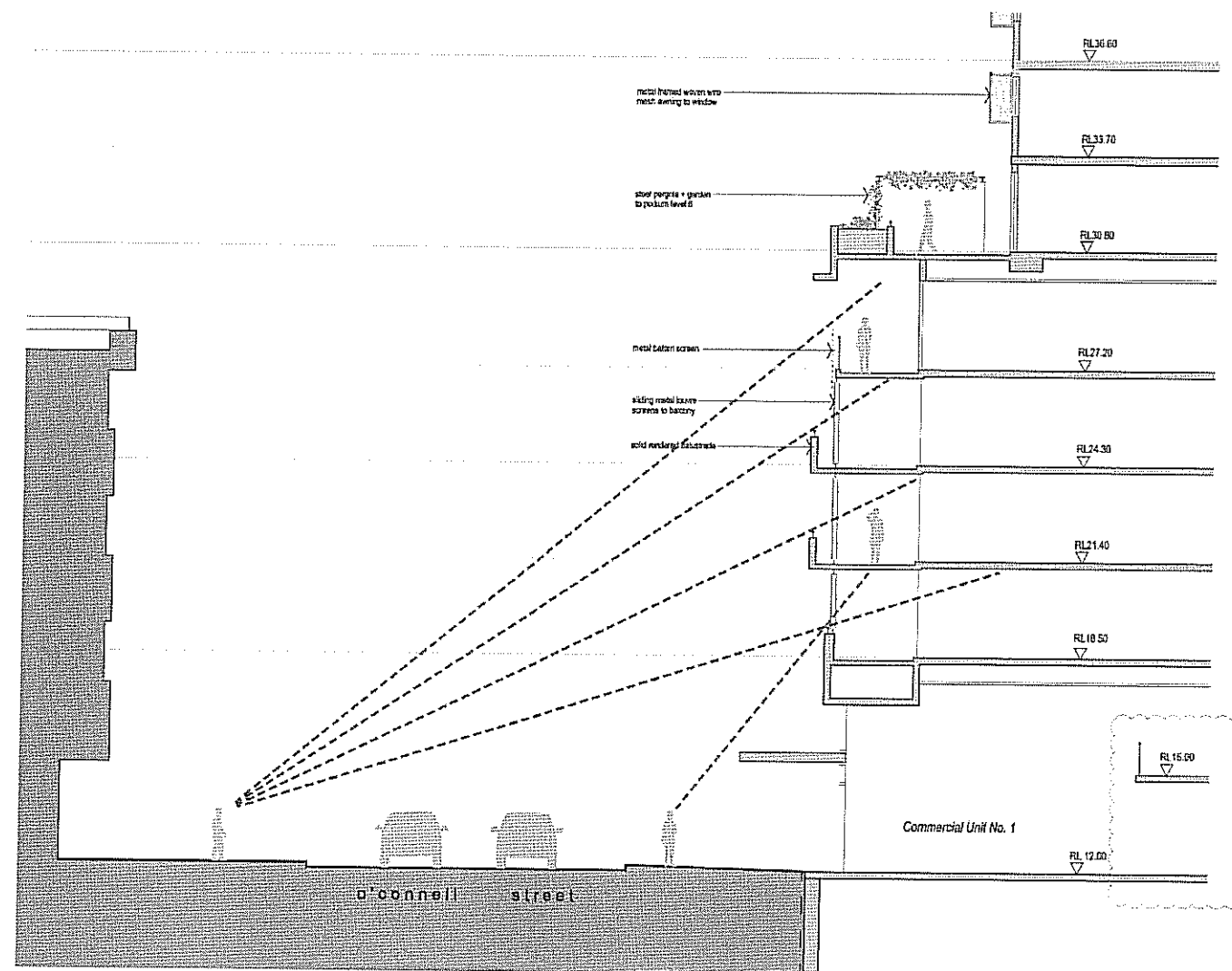
Tel. 9662 5055
Fax 9667 1426

Project	Development Application Mixed Use Development
Project address	29 Hunter Street Parramatta
Client	Geldama Pty. Ltd.
Title	Sections A + B
Drawn	pdp
Scale	1:200@A1
Job No.	1941
Drawing No.	DA20
Checked	issue
	C

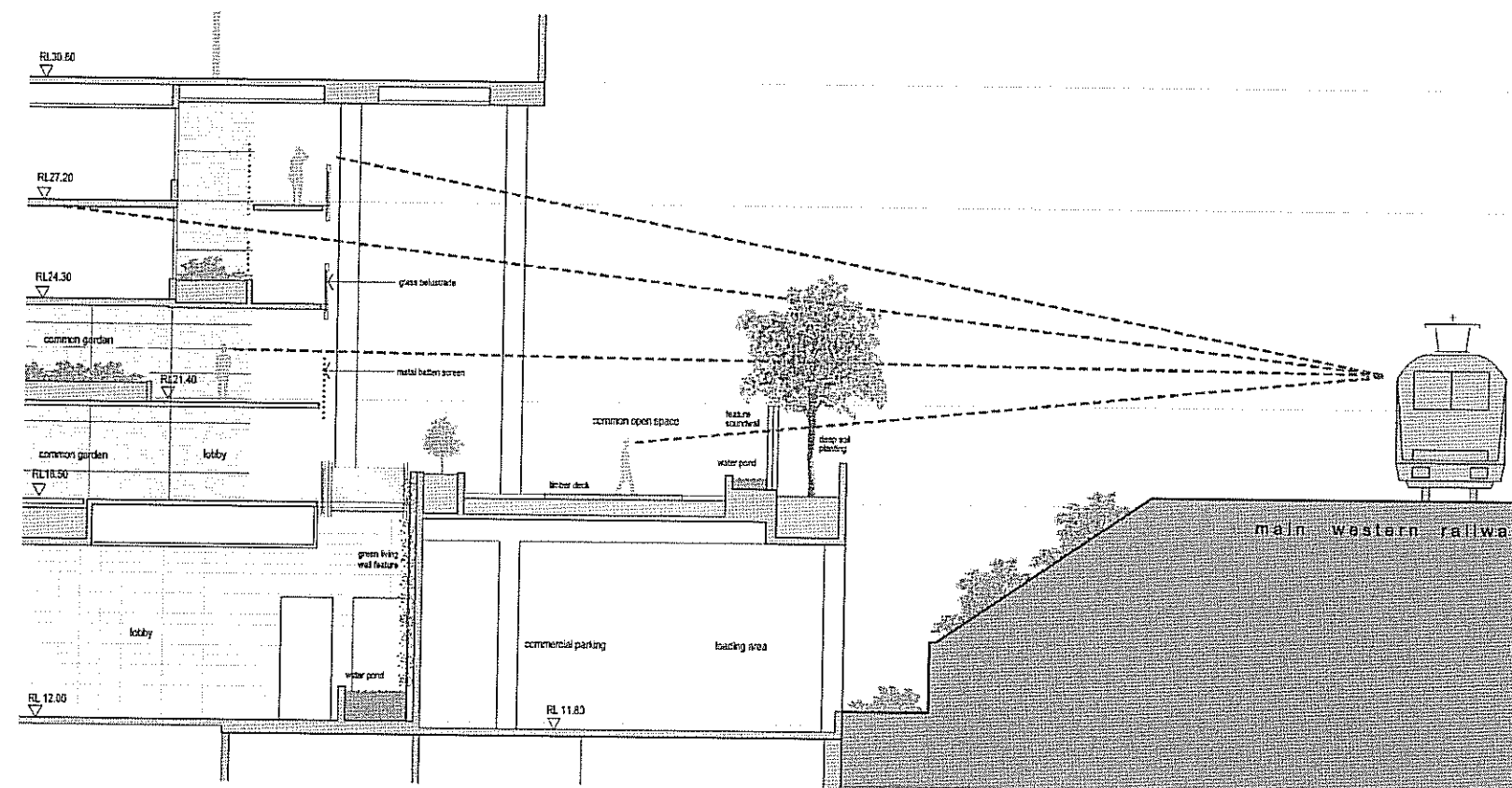
*** 80m high building height line
in accordance with Parramatta
City Centre LEP + DCP 2007***



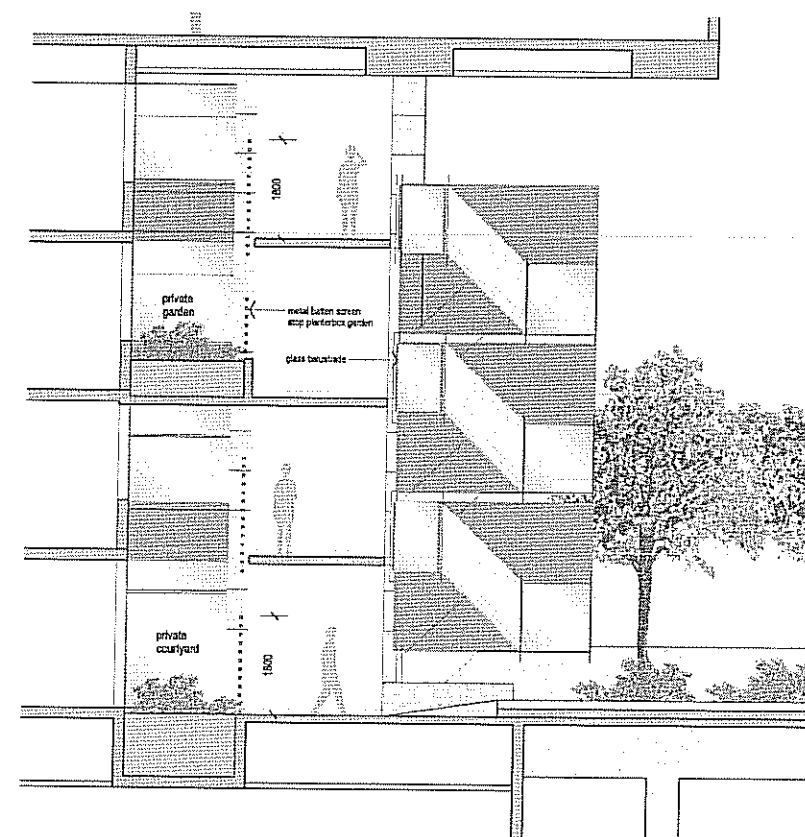
Section Detail C



Section Detail D



Section Detail E



Section Detail F

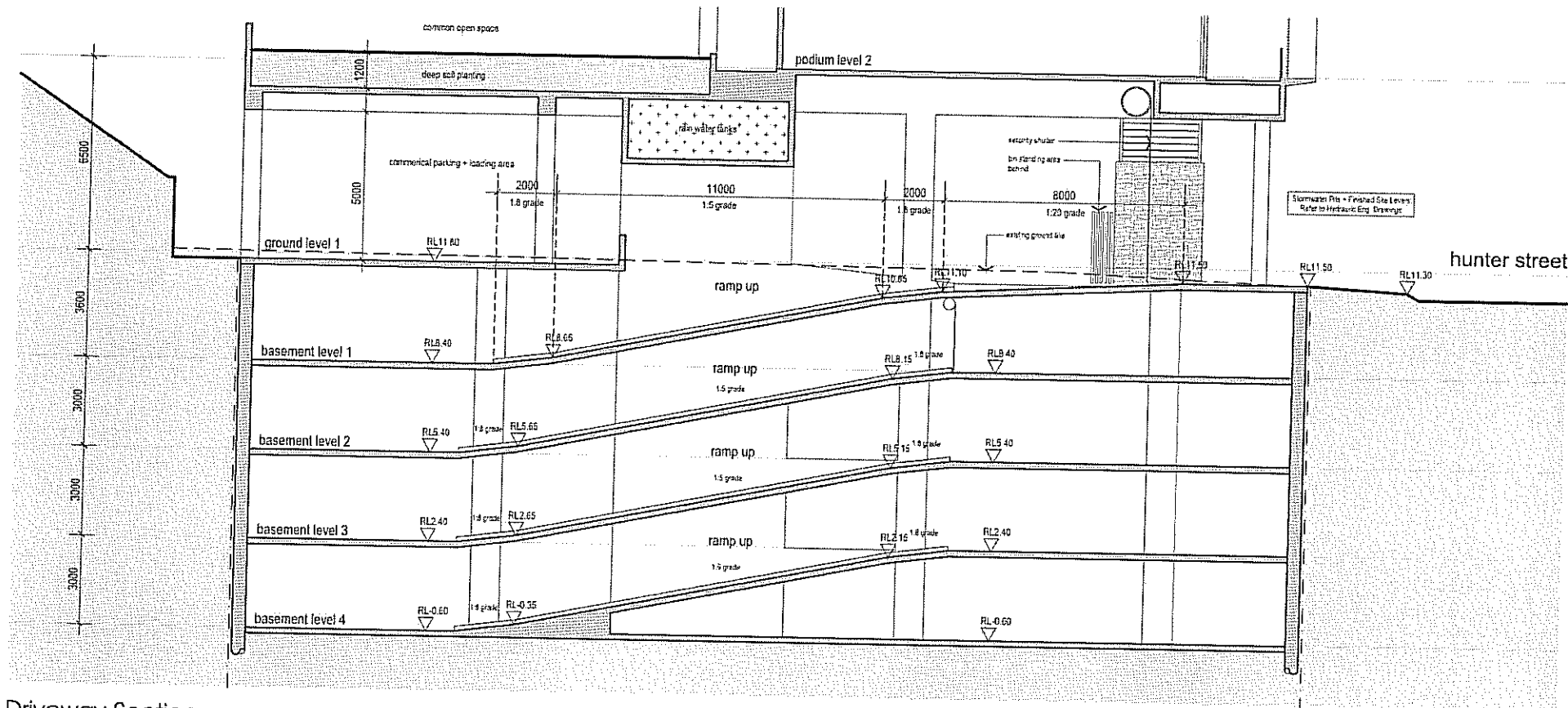
Site Sections

C	Amended to DRP Recommendations	04.05.11
B	Amended for FSI Calculations	04.04.11
A	Development Application Issue	11.03.11
P1	Prelim. Issue to Client	09.02.11

Issue Description	Date
-------------------	------

architex
 Tylenon Pty Ltd & ArchiTex
 32 003 316 1 42
 55 Cowper Street, Glenville, 2142
 Tel: 9652 5088 Fax 9697 1606
 email: info@architex.com.au
 www.architex.com.au

Project		Development Application Mixed Use Development	
Project address			
29 Hunter Street Parramatta			
Client			
Geldama Pty. Ltd.			
Title			
Section Details			
Drawn		Scale	Checked
pdp		1:100@A1	
Job No.		Drawing No.	Issue
1941		DA21	C

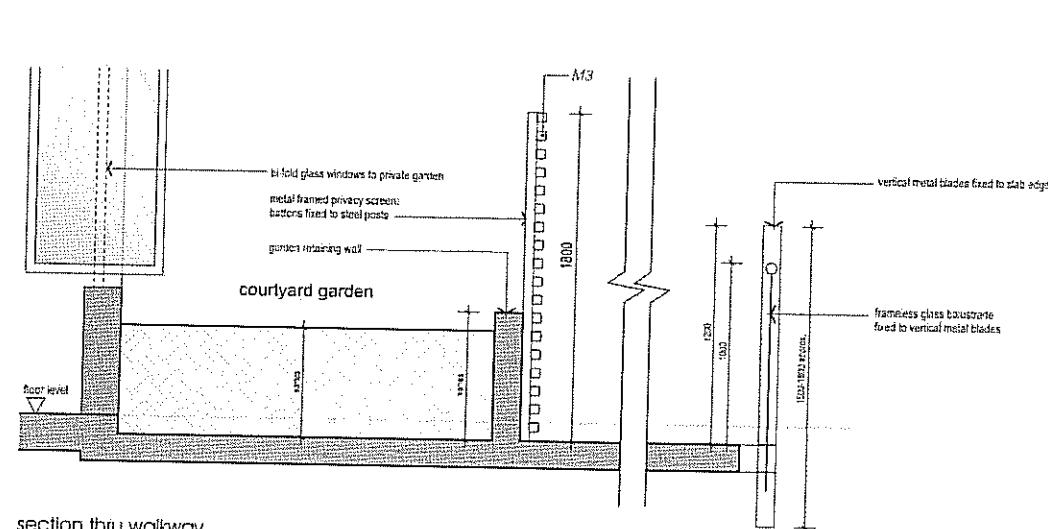
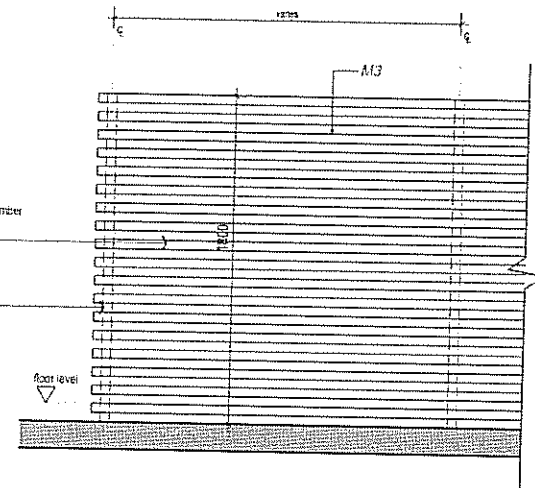
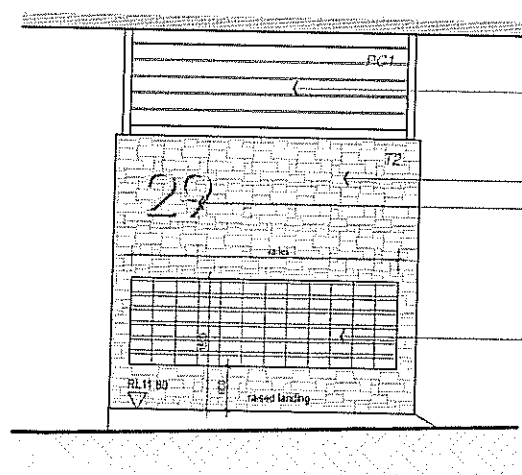


LEGEND EXTERNAL MATERIALS AND FINISHES

PAINT FINISH 1 Dulux Vivid White PW1.119	FEATURE METAL SCREENS MetalART "Supabatten" Custom Finish Scratched Aluminium
PAINT FINISH 2 Dulux Tristar FG2.C5	SUNHOODS + VERTICAL BLADES Aluminium Wire Architectural Mesh Profile
PAINT FINISH 3 Dulux Warmth F09.G9	BALUSTRADE + PRIVACY SCREENS MetalART "Supastar" Woodgrain Finish Bush Cherry
CLADDING SYSTEM 1 Alucobond Composite Panel Grey Metallic 502	BALCONY LOUVRE SCREENS Hunter Douglas Sun Control Natural Aluminium Finish
CLADDING SYSTEM 2 Alucobond Composite Panel "natural" Brushed 400	BALUSTRADES + HANDRAILS + PERGOLAS Dulux Powdercoat Precious Silver Pearl Kinetic
TILE FINISH 1 Sandstone Wall Panels White Finish	GLASS BALUSTRADES Pilkington Glass Optifloat Grey Tint
TILE FINISH 2 Austren Stacked Stone Jurassic Strata DY-88006	

Note:
The internal driveway lane widths, circulation routes and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 but need not include manoeuvres.

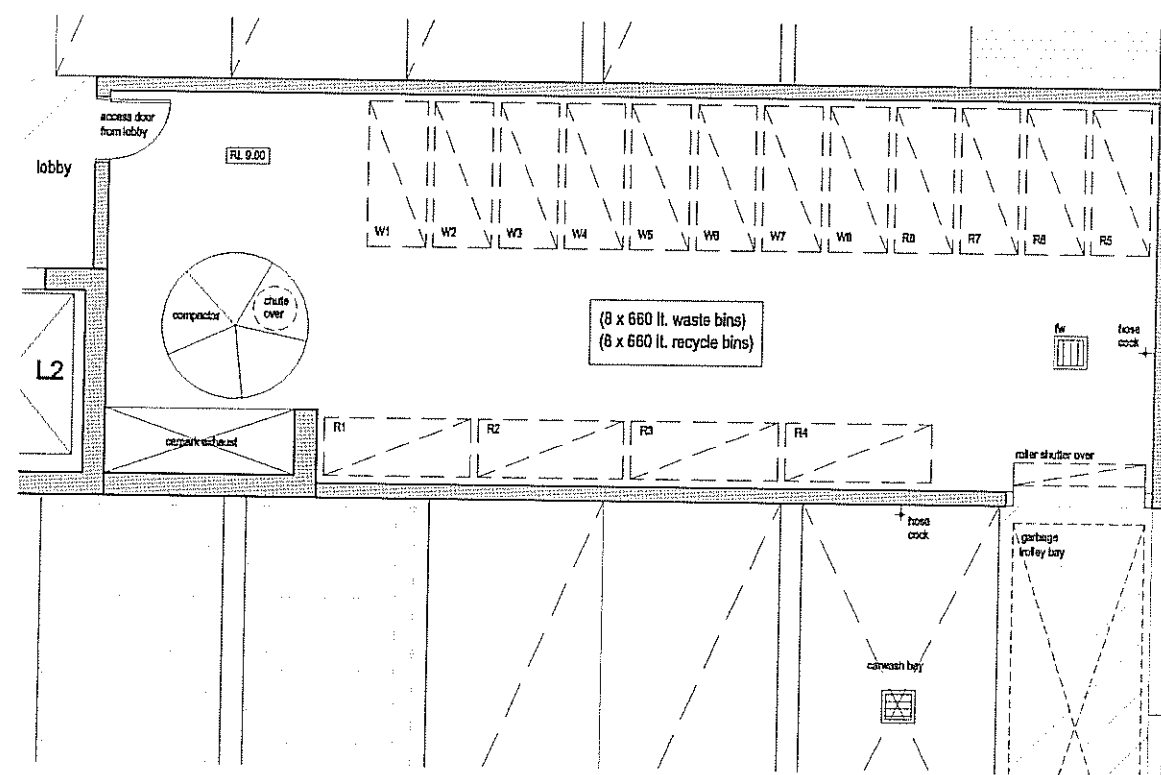
Note:
All security shutters to be controlled by residents with remote access system.
All underground parking areas to be painted white.



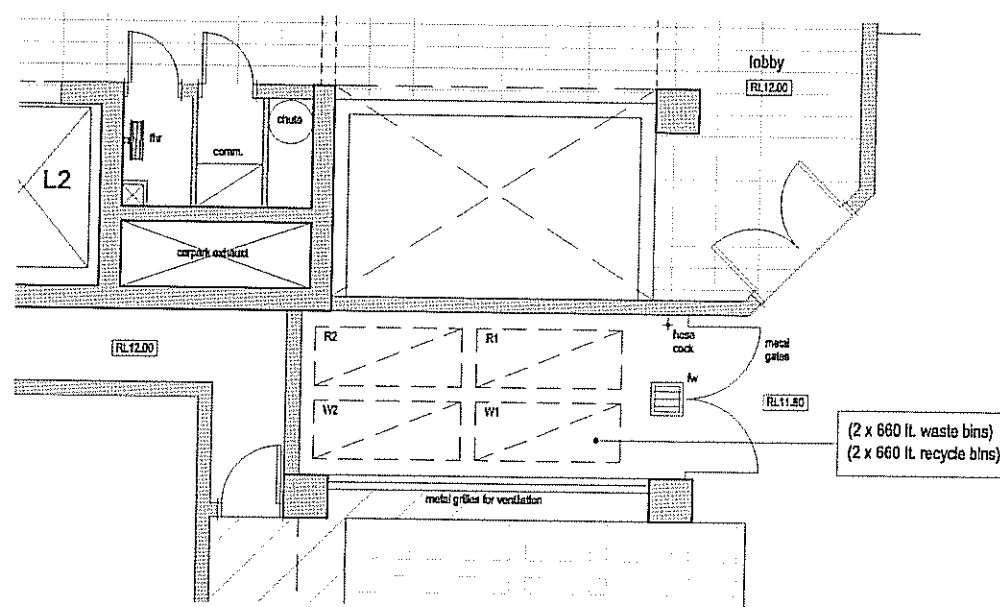
A - Development Application Issue #1 - Problem: Issue to Client	11.03.11 01.02.11
Issue Description	Date

architex
 11/10/11
 32 003 316 142
 5/5 Cowper Street, Greenvale, 2142
 archi@architex.com.au
 www.architex.com.au
 Tel: 9662 5088
 Fax: 9877 1606

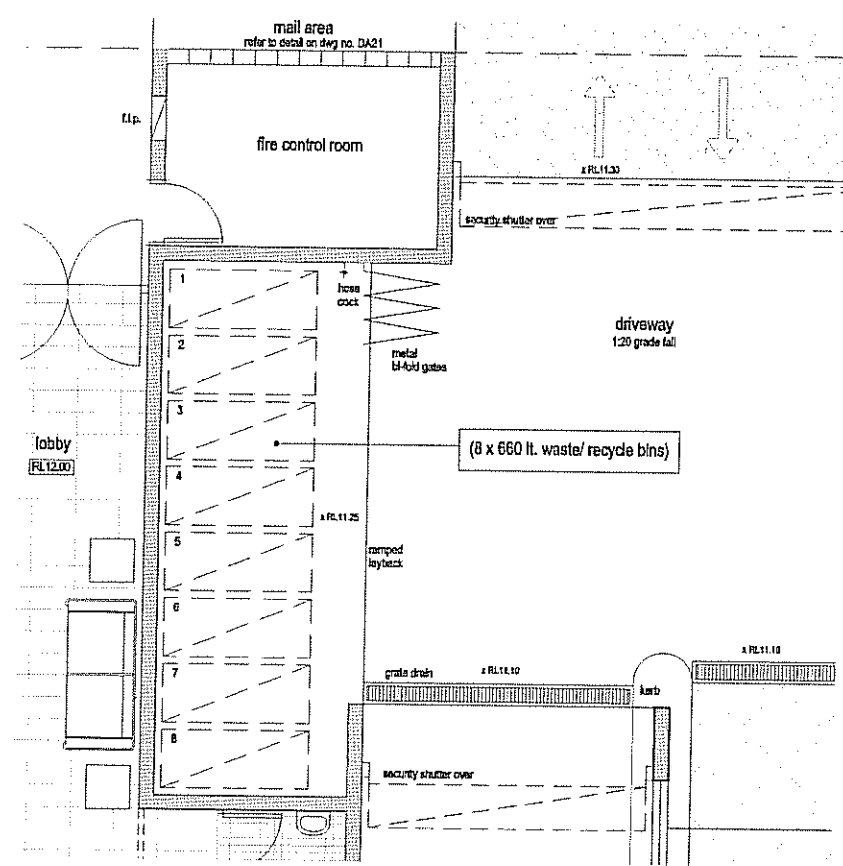
Project Development Application Mixed Use Development	Project address 29 Hunter Street Parramatta	Client Geldama Pty. Ltd.	Time Fence + Mail + Driveway Details
Drawn pdp	Scan vailes	Checked	
Job no 1941	Drawing file DA22	Issue A	



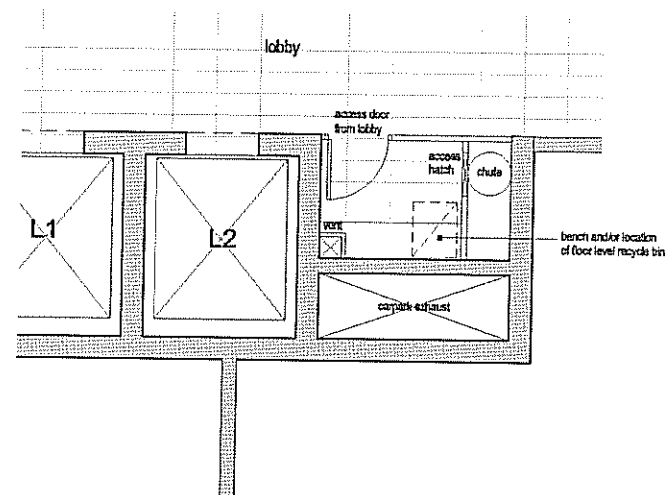
Bin Compaction Room basement level 1



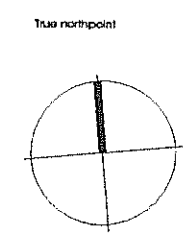
Commercial / Retail Bin Store ground level 1



Bin Standing Area ground level 1



Typical Garbage Room typical layout for levels 2 to 23



Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

A Development Application Issue	11.03.11
P1 From Issue to Client	09.02.11
Issue description	Date

architex
 Rydman Pty Ltd was Architex
 abn 52 005 916 142
 55 Cowper Street,
 Granville, 2142
 email: @architex.com.au
 www.architex.com.au
 Tel: 9682 6068
 Fax: 9897 1606

Bin Collection Calculations

Residential Collection:
 108 Units
 (50 IL x waste + 50 IL x recycle bin per unit)
 = 8 x 660lt. waste bins
 = 8 x 660lt. recycle bins

Comm./Retail Collection:
 = 2 x 660lt. waste bins
 = 2 x 660lt. recycle bins

Note:
All bin rooms to have covered skirtings to all internal walls

DEVELOPMENT APPLICATION

Project
 Development Application
 Mixed Use Development

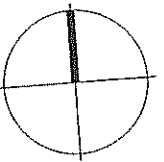
Project address
 29 Hunter Street Paramatta

Client
 Geldama Pty. Ltd.

Site
 Waste
 Management Plan

Drawn pdp	Scale 1:50@A1	Checked
Job No. 1941	Drawing No. DA23	Issue A

True northpoint



POST ADAPTABLE NOTES:

General Notes

- 50mm ramped threshold to external sliding doors
- all floor surfaces to be slip resistant in accordance with AS/NZS 3691.1
- door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1

Electrical Notes

- Hot Water System to deliver hot water at a maximum of 50° in accordance with AS4299
- electrical distribution board to be located within the unit and be accessible
- allow for illumination levels in accordance with AS4299
- switch and power points to be located in accordance AS4299
- a telephone outlet to be provided in the lounge/dining area adjacent to a G.P.O

Laundry Notes

- laundry tub dimension and height to comply with AS 4299
- taps to be provided at side of laundry tub
- provide double G.P.O

Bathroom Notes

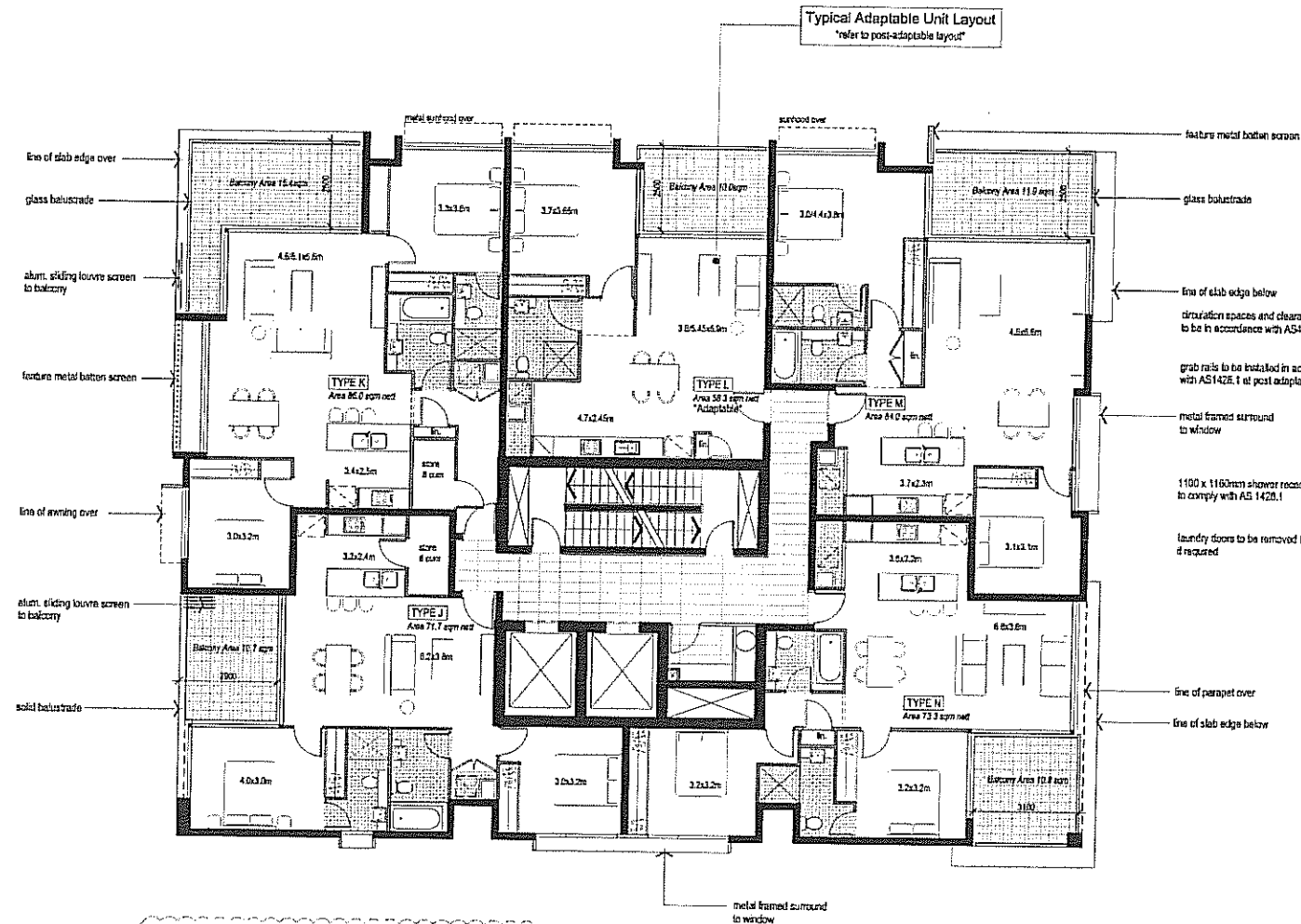
- selected slip resistant ceramic floor tiles laid to fall on screen, provide waterproof membrane in accordance with AS 3740 1994
- tap sets to be capstan or lever handles with single outlet
- locate toilet paper holder in accordance with AS 1428.1
- accessible toilet in accordance with AS 1428.1
- provide for adjustable, detachable hand held shower rose mounted on a slider grab rail, clearance and heights to be in accordance with AS1428.1
- vanity clearance to comply with AS 1428.1

Kitchen Notes

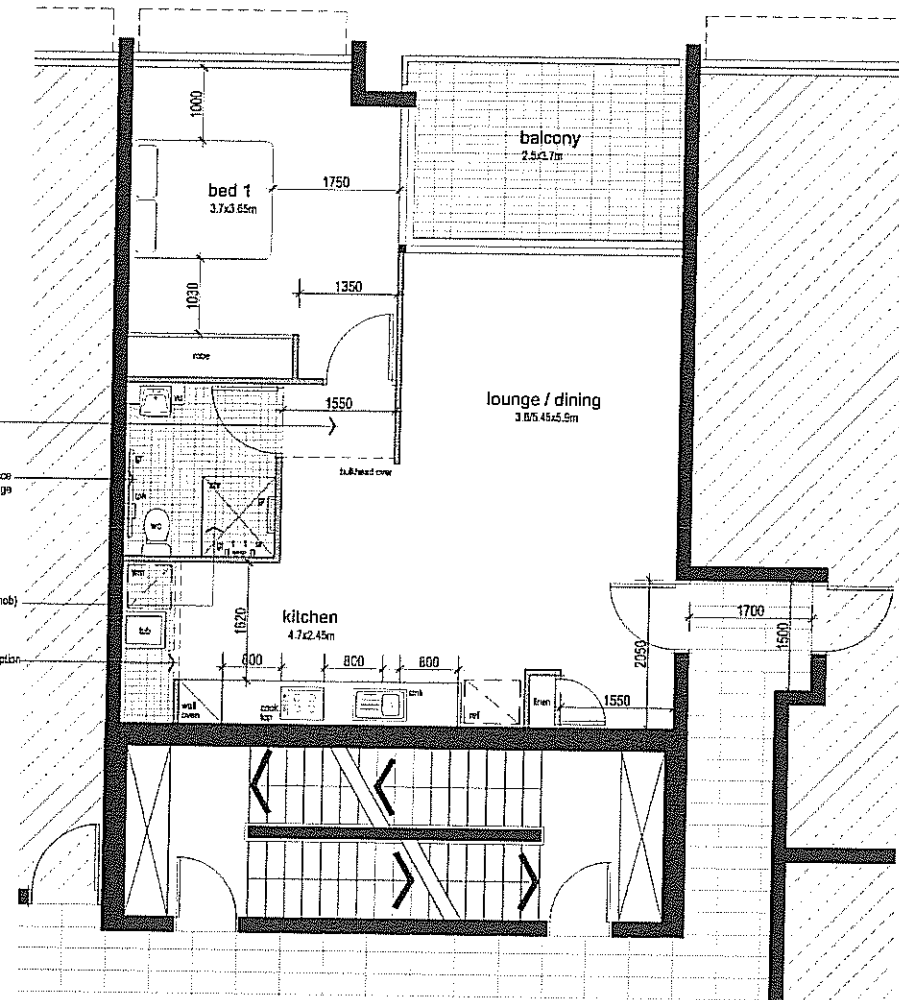
- kitchen sink bowl 150mm deep max
- sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
- install floorball tiling under & behind removable/adjustable kitchen benches
- tap set shall be capstan or lever handles or lever mix
- cook tops to include either front or side controls with raised cross bars
- cook tops to include isolating switch
- tap set located within 300mm of front of sink
- provision to be made for a microwave shelf to be installed or replaced at a height between 750mm and 1200mm.

Notes:

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



Typical Floor Levels 7 to 17
Scale 1:100



Post Adaptable Layout
Scale 1:50

Unit Areas Table:
Refer to Cover Sheet dwg no. DA00

Balcony Areas shown on F.S.R.
Calculation Diagrams dwg no. DA24

Courtyard Areas shown on Levels 6 +
Level 18 drawings (where applicable)

BASIX Commitments:
Refer to Cover Sheet dwg no. DA00

Note:

All units shall contain a clothes dryer located above the washing machine shown in each laundry room.

C	Amended to GRP Recommendations	04.06.11
S	Amended for FSR Calculations	04.04.11
A	Development Application Issue	11.01.11
P1	Prinm. Issued to Client	08.02.11

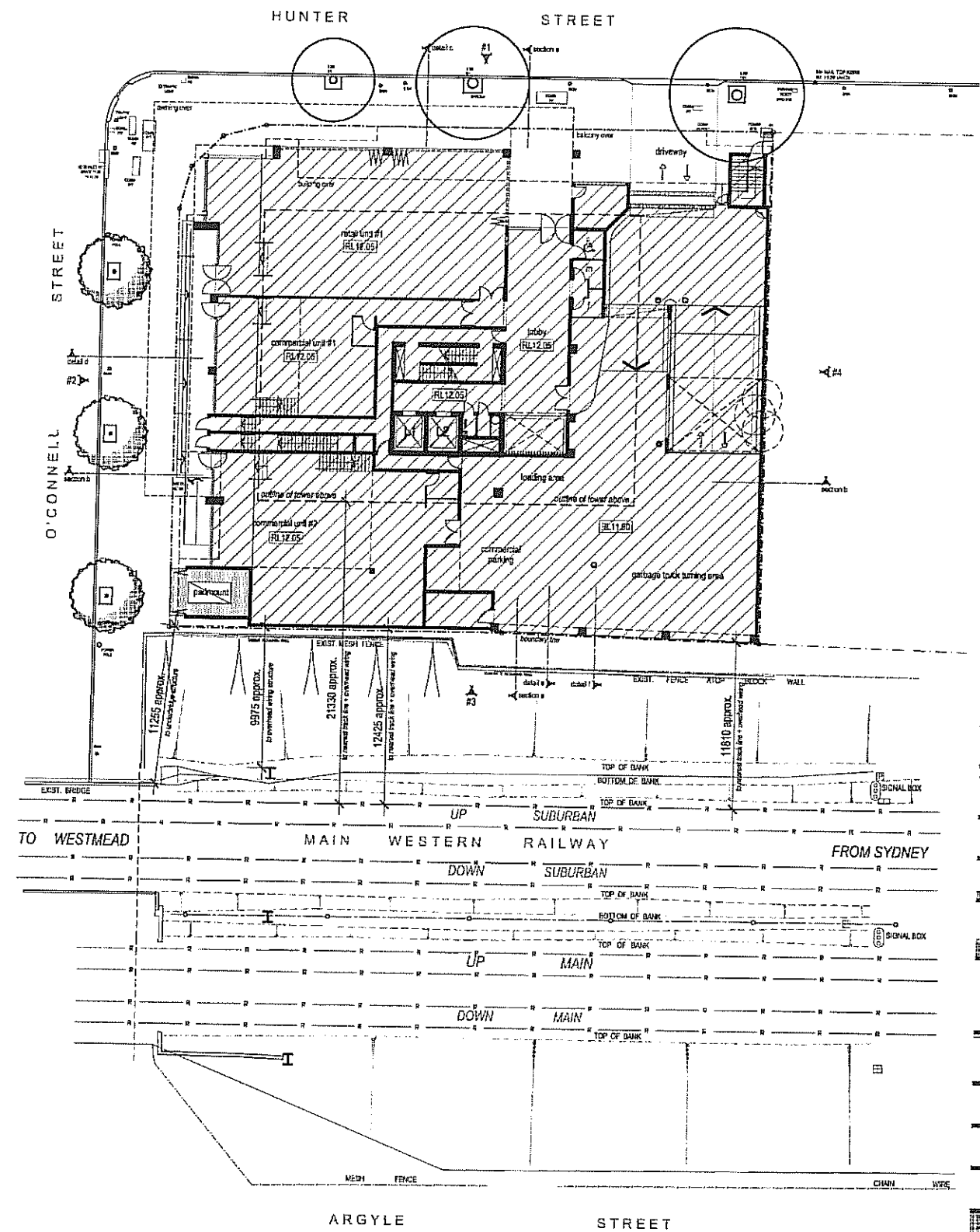
Issue description	Date
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architex
Ryerson Pty Ltd t/as Architex
abn 32 003 316 142
55 Cowper Street,
Granville, 2142
email@architex.com.au
www.architex.com.au
Tel: 9662 5088
Fax: 9897 1606

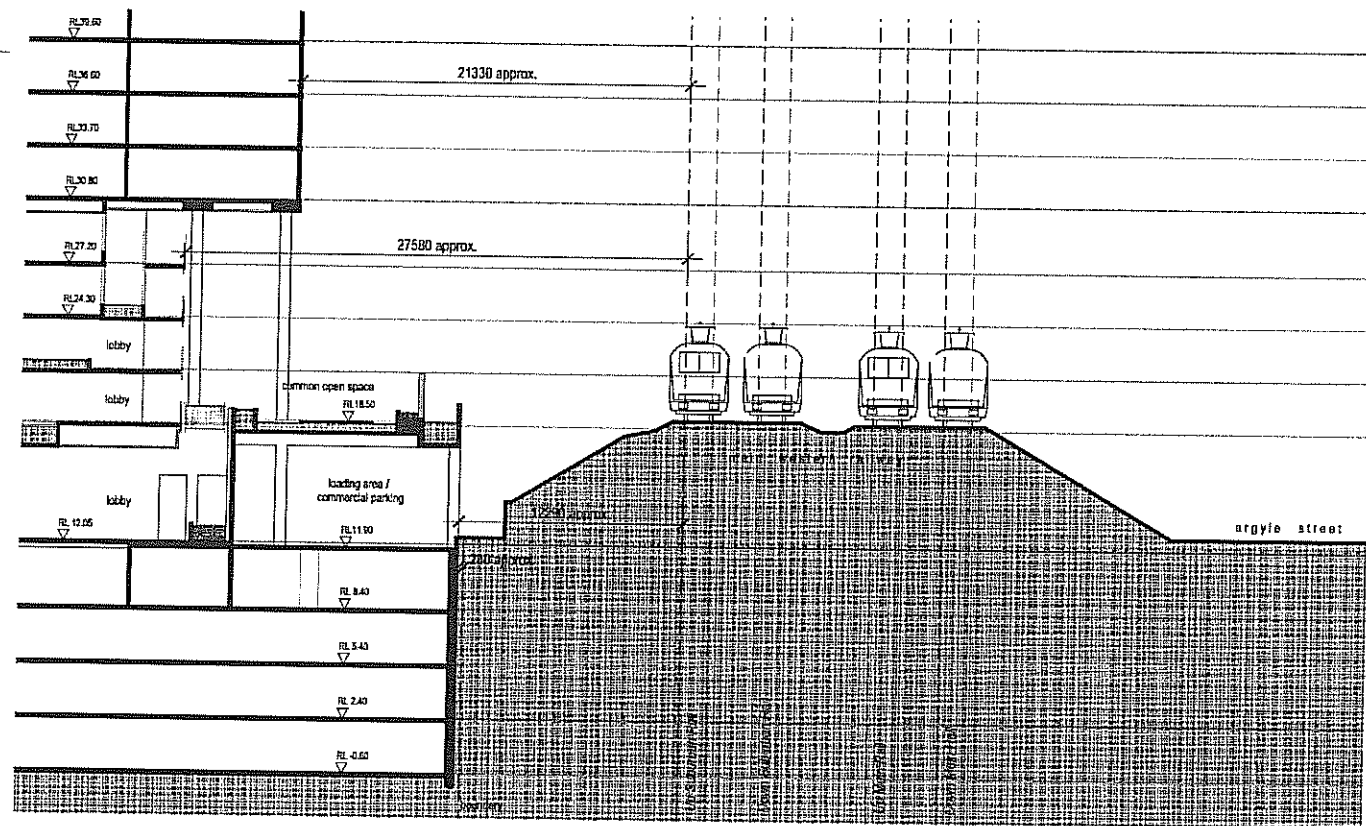
DEVELOPMENT APPLICATION

Project	Development Application Mixed Use Development		
Project address	19 Hunter Street Parramatta		
Client	Geldama Pty. Ltd.		
Typical Unit Layouts			
Drawn by	Scale 1:100@A1	Checked	
Job No.	Drawing No.	Issue	
1941	DA25	C	

Typical Unit Layouts

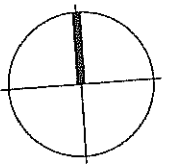


Ground Floor Level



Section thru Railway (Detail E)

True north



Notes:

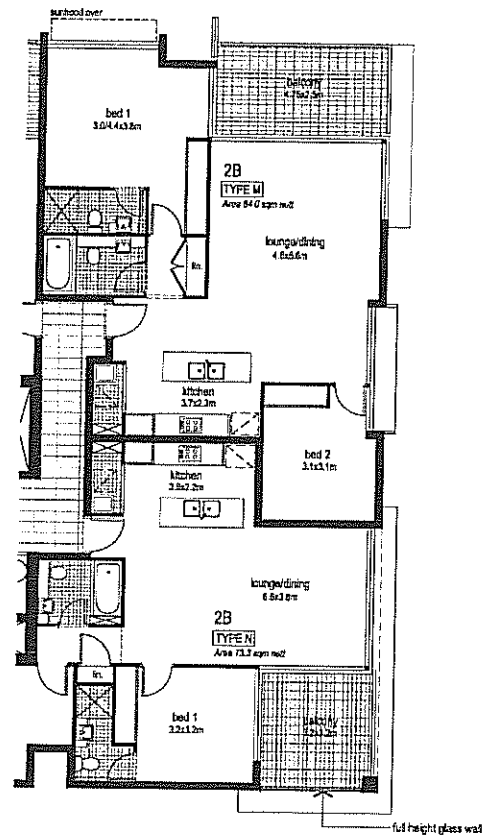
Do not scale, check and verify all dimensions before commencing work, ground levels may vary due to site conditions.

Issue description	Date
D: Railway infrastructure details added in accordance with RailCorp needs	20.07.11
F: Put a Domain plan amended to Council's requirements	01.08.11
E: Ground floor amended + levels raised in accordance with Flood Study	25.07.11
D: LRV turning template added + Ground Floor amended accordingly	29.08.11
C: Amended to DRP Recommendations	04.09.11
B: Amended for FSH Calculations	04.09.11
A: Development Application issue	11.03.11
P1: Prelim. Issue to Client	09.02.11

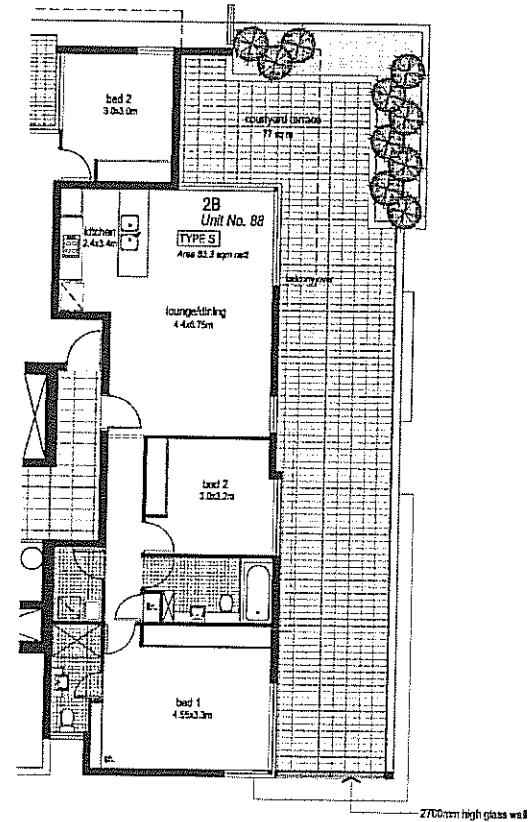
architex
 Hyattsville Pty Ltd Vica Architex
 55 Clowes Street,
 Cronulla, 2230
 Tel: 9662 5088
 Fax: 9997 1606
 architex@architex.com.au
 www.architex.com.au

Project		Development Application Mixed Use Development	
Project address		29 Hunter Street Parramatta	
Client		Geldama Pty. Ltd.	
Title		Railway Infrastructure Plan	
Drawn	Scale	Checked	
pdp	1:200@A1		
No.	Drawing No.	Issue	
941	DA30	G	

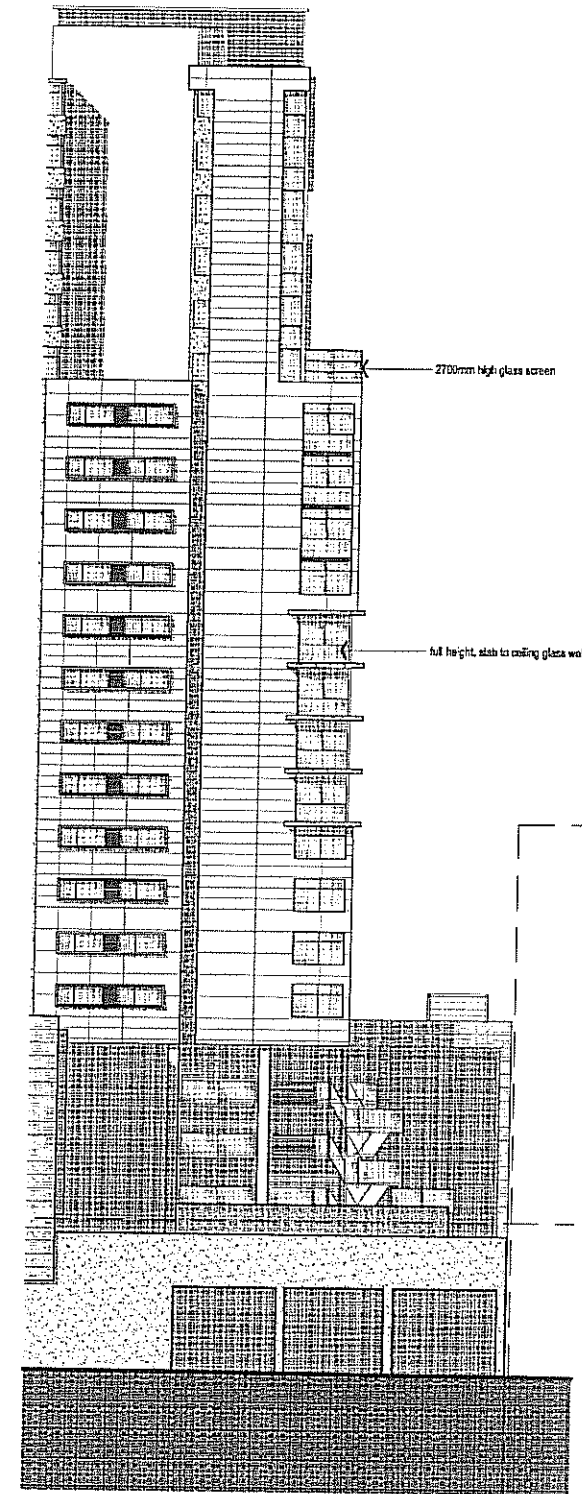
Legend
Structural Floor Level
Finished Reduced Level



Typical Tower Level 7 - 17

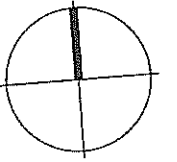


Tower Level 18



South Elevation
scale: 1:200

True northpoint



Notes:

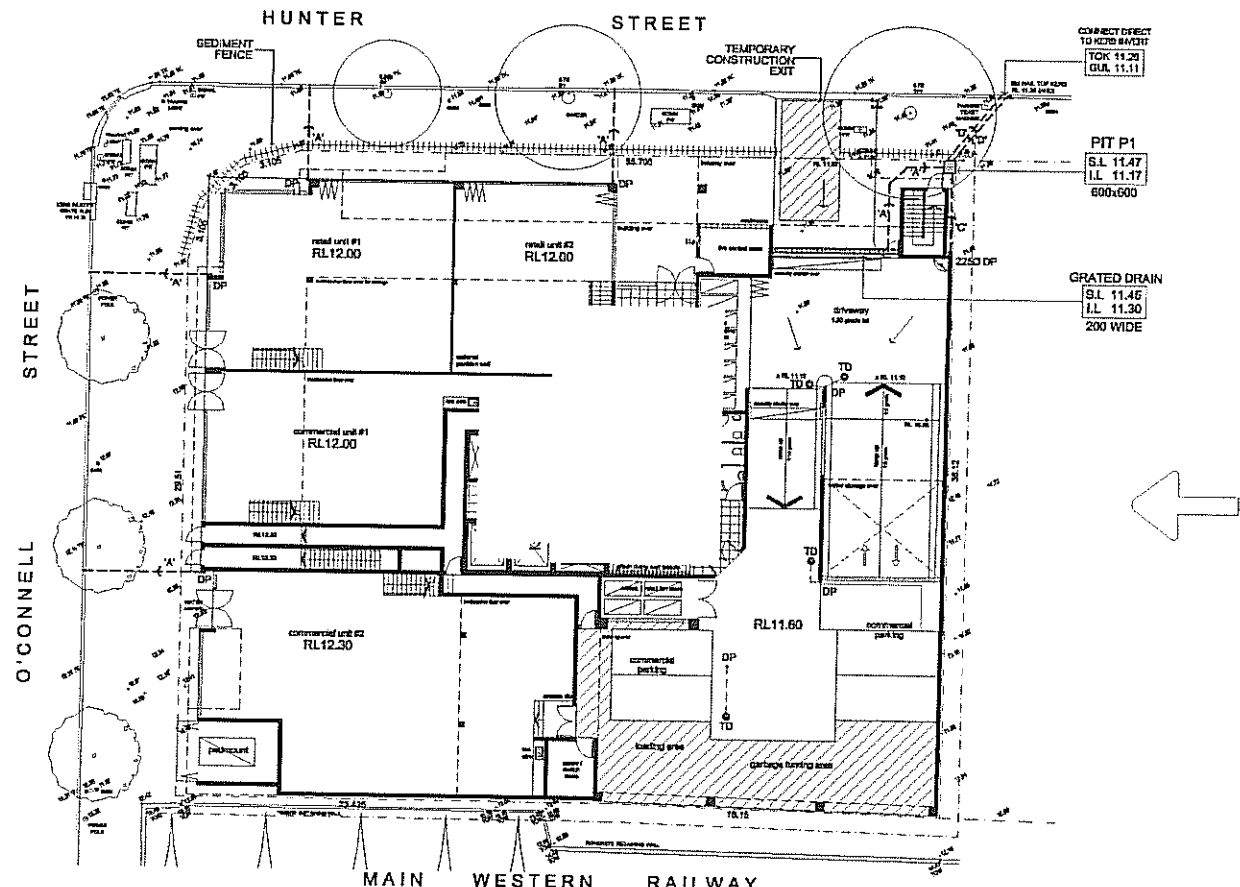
Do not scale. Check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

A Development Application	22.11.11
Issue description	Date

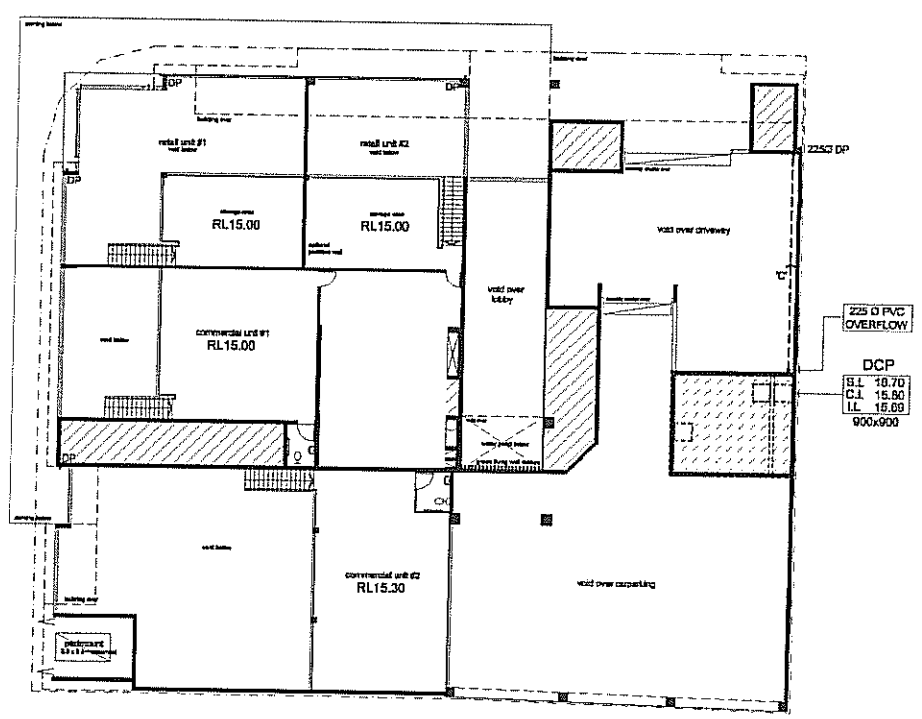
architex
 Rykman Pty Ltd t/as Architex
 abn 32 003 316 142
 56 Cowper Street,
 Granville, 2142
 email@architex.com.au
 www.architex.com.au
 Tel. 9682 5086
 Fax 9697 1656

DEVELOPMENT APPLICATION

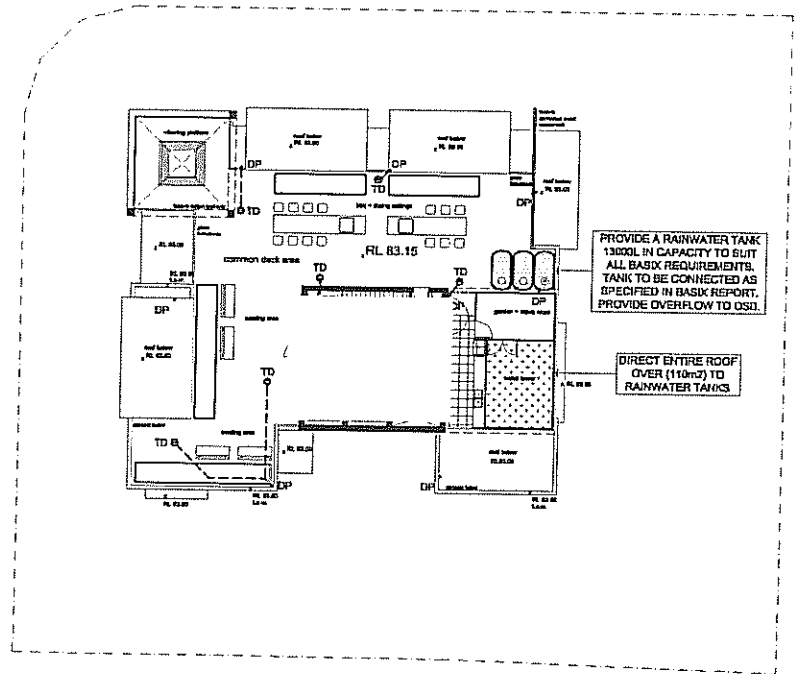
Project		Development Application Mixed Use Development	
Project address		29 Hunter Street Paramatta	
Client		Geldarna Pty. Ltd.	
Title		Balcony Treatment to Railway	
Drawn pdp	Scale 1:100@A1	Checked	
Job No. 941	Drawing No. DA31	Sheet A	



GROUND LEVEL 1 LAYOUT
+ SEDIMENT & EROSION CONTROL LAYOUT
SCALE 1:200/A1, 1:400/A3

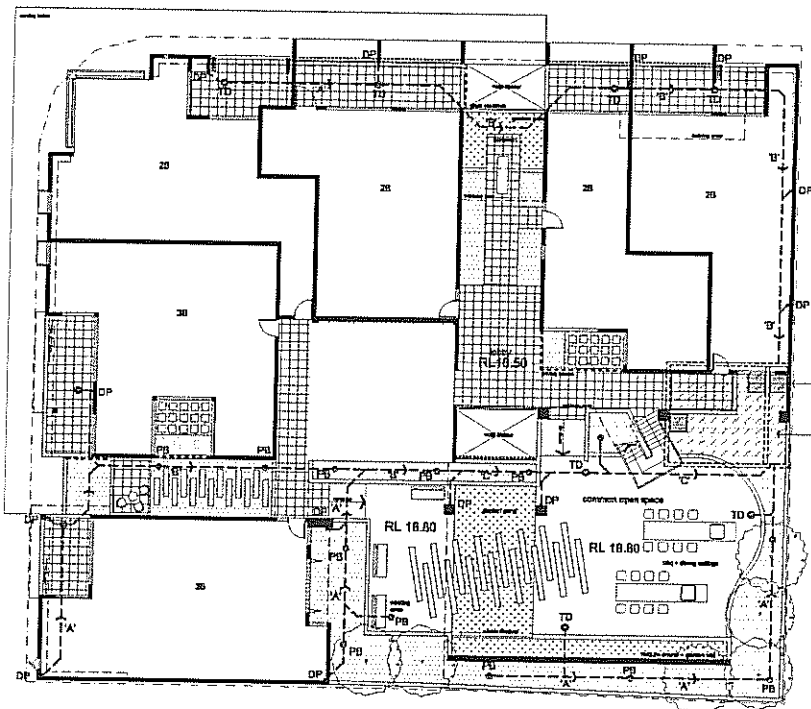


GROUND LEVEL 1 - MEZZANINE LAYOUT
SCALE 1:200/A1, 1:400/A3



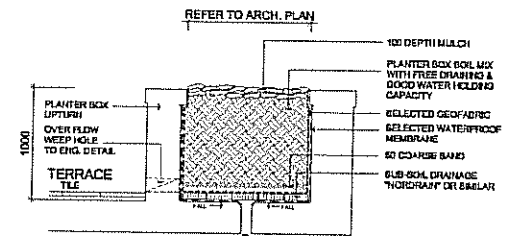
ROOF TERRACE LAYOUT
SCALE 1:200/A1, 1:400/A3

PIPE SCHEDULE				
TAG	SIZE	MATERIAL	GRADE	DESCRIPTION
A	100 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
B	150 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
C	225 Ø	P.V.C	1% MIN	REGULAR GRAVITY PIPE
D	200x100	RUN S	1% MIN	GRAVITY - DISCHARGE TO KERB
E	100 Ø	P.V.C	1% MIN	TO FEED RAINWATER TANK

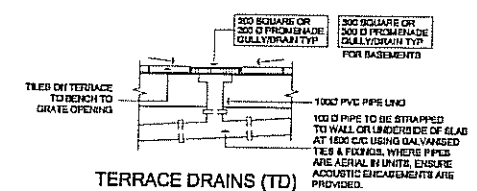


PODIUM LEVEL 2 LAYOUT
SCALE 1:200/A1, 1:400/A3

DA CONCEPT PLAN ONLY
NOT FOR CONSTRUCTION



PLANTER BOX DETAIL (PB)



TERRACE DRAINS (TD)

DRAINAGE DESIGN SUMMARY		Location: 29 HUNTER STREET PARRAMATTA
Project No:	SW11058	
GROSS SITE AREA	0.1477	ha
Basic Storage Volume	470 x A	68.42 m ³
Basic discharge	90 x A	0.01162 m ³ /s
Area of site oriented to storage	0.1477	ha
(Must be as much as possible and not be less than 75% of the total site without written council approval)		
(D) x (A) x 100		100.00 %
Storage per ha of contributing area	B x D	470.03 m ³ /ha
Enter volume / PSD adjustment chart (Fig 5.1) using [F] and read new PSD in litres/second/ha		60.15 m ³ /ha
Determine PSD	G x D	11.83 m
Maximum head to orifice centre		2.4 m
Selected orifice diameter	d x (G x 64 x D m ³ /s) ^{1/2}	0.060 m
Maximum discharge		11.453 m ³ /s
Head for high early discharge		2.3 m
High early discharge	0.2 x (B x (K x D)) (mm 75% of L)	11.212 m
Approximate mean Discharge	d x H ^{1/2}	11.333 m ³ /s
Average discharge / ha	P x D	76.727 m ³ /ha
Enter volume / PSD adjustment chart (Fig 5.1) using [G] and read off final storage volume per hectare		458 m ³ /ha
Determine final SSR	R2 x D2	72.04 m ³
Primary storage proportion	100%	72.04 m ³
Secondary storage proportion	0%	0.0 m ³
Tertiary storage proportion	0%	0.0 m ³
check (T) = (U) + (V) = [S]		72.04 m ³

BELOW GROUND DETENTION TANK
SHOWN HATCHED
MAX POOL RL = 18.20
MAX DEPTH = 2400mm
VOLUME STORED = 79.5 m³
VOLUME REQUIRED = 72.0 m³

LENGTH = 8400mm
WIDTH = 5400mm
AVERAGE DEPTH = 2300mm
VOLUME STORED = 79.5 m³

REFER TO TANK DETAIL ON SW11055 - S1

alw design
CIVIL ENGINEERING CONSULTANTS

P: 02 8819 2505 F: 02 8819 2597 E: admin@alwdesign.com.au
M: 0413 783 432 89A COWELLS LANE, ERMINGTON NSW 2115

PROJECT: PROPOSED MIXED USE DEVELOPMENT AT
29 HUNTER STREET, PARRAMATTA NSW
DRAWING: SITE STORMWATER MANAGEMENT LAYOUTS

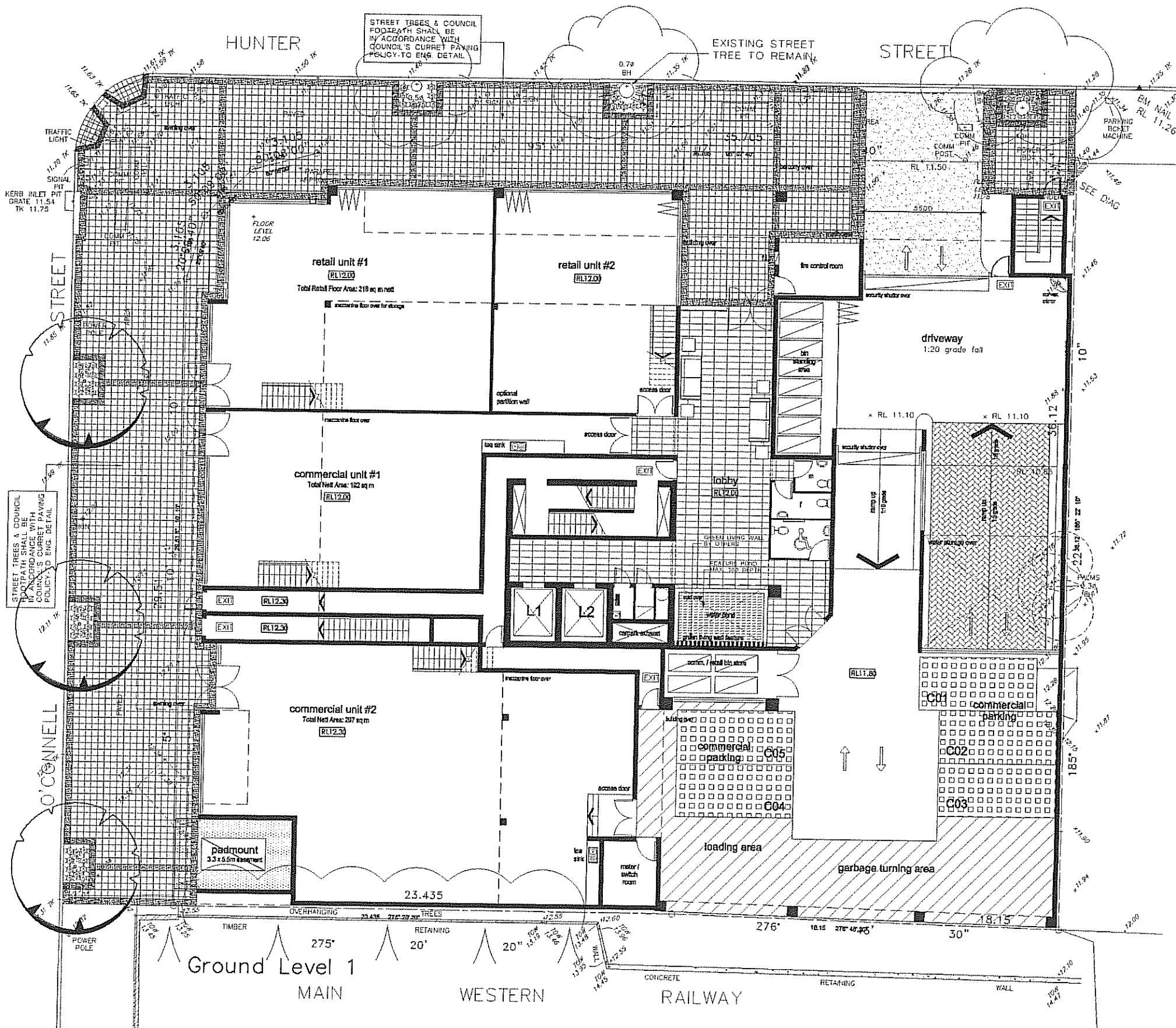
DESIGNED	DRAWN	CHECKED	DATE
A.W.	A.W.	ANDREW L WAHDE - BE (CIVIL) MEAUST PERM	
A	ISSUED FOR DEVELOPMENT APPLICATION		14/03/11
ISSUE	REVISION DESCRIPTION		APPR. DATE



SITE STORMWATER MANAGEMENT LAYOUTS
SCALE 1:200/A1, 1:400/A3

JOB NUMBER: SW11058
DRAWING NUMBER: SW11058 - S2

LEGEND	
	EXISTING RL
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RETAINED
	PROPOSED TREES, SHRUBS & GROUND COVER (REFER TO PLANT SCHEDULE)
	AGE
	ALUMINUM GARDEN EDGE TO MAIN DETAIL & SPEC
	100 DEPTH SELECTED WHITE RIVER PEBBLES
	100 DEPTH BLACK RIVER PEBBLES WITH WEED MAT UNDER
	SELECTED ORNAMENTAL POT
	SELECTED CONC. STEPPING STONES
	SELECTED SCULPTURE APPROX. 1200 HIGH
	SELECTED WATER FEATURE
FINISHES SCHEDULE	
ITEM	MATERIAL
TERRACE	SELECTED TILES
SOIL	LAWN AREA 1st QUALITY TOP SOIL NOTE: ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT
MULCH	NATIVE GARDEN BED EXOTIC GARDEN BED ORGANIC GARDEN MIX PLANTER BOX PLANTER BOX MIX RI ACCORDANCE WITH A55000
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	ALUMINUM GARDEN EDGING OR AS SELECTED REFER TO DETAIL 1
RETAINING WALL	SELECTED MASONRY RETAINING WALL AND DRAINAGE TO ENG DETAIL
IRRIGATION	PROVIDE DRIP IRRIGATION SYSTEM TO ALL GARDEN & PLANTER BOX AREA IN ACCORDANCE WITH A55000 AND SYDNEY WATER CODES. IRRIGATION SHALL BE DESIGNED & INSTALLED BY QUALIFIED IRRIGATION CONTRACTORS.



REV	DESCRIPTION	BY	REVISION DATE
A	CONV. DA ISSUE		10.3.21

- NOTE:**
1. Contractors must verify all dimensions of the site before commencing any work. If any discrepancies are found, they must be reported to the architect.
 2. Do not move anything if it is not in the way of the proposed work.
 3. The drawing is to be used in conjunction with the Architectural, Structural and Services drawings.
 4. All existing trees to remain shall be protected as per arborist report & Council requirements.
 5. All planting shall be in accordance with the AS 4375.
 6. The landscape architect shall be responsible for the design and installation of the landscape.
 7. All water to the site shall be carried out without any approval from Council.
 8. All materials to be used shall be of the highest quality and shall comply with the relevant standards.
 9. Substitution of any material or method of construction shall be approved by the architect.
 10. All work shall be completed within the specified time frame.
 11. All work shall be carried out in accordance with the relevant standards.
 12. The landscape architect shall be responsible for the design and installation of the landscape.
 13. The landscape architect shall be responsible for the design and installation of the landscape.
 14. The landscape architect shall be responsible for the design and installation of the landscape.
 15. The landscape architect shall be responsible for the design and installation of the landscape.
 16. The landscape architect shall be responsible for the design and installation of the landscape.
 17. The landscape architect shall be responsible for the design and installation of the landscape.

IMPORTANT NOTICE:

THE LANDSCAPING OF THE SITE SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND CONDITIONS OF CONSENT.

IT MUST BE NOTED THAT ANY DEVIATION FROM THE APPROVED DESIGN IS NOT AUTHORISED UNDER THE DEVELOPMENT CONSENT.

ANY ALTERATION TO DESIGN AND PLANT MATERIAL MUST BE APPROVED BY THE ACCREDITED CERTIFIER.

PROPOSED MIXED DEVELOPMENT
29 HUNTER STREET
PARRAMATTA

ARCHITECT:
architex



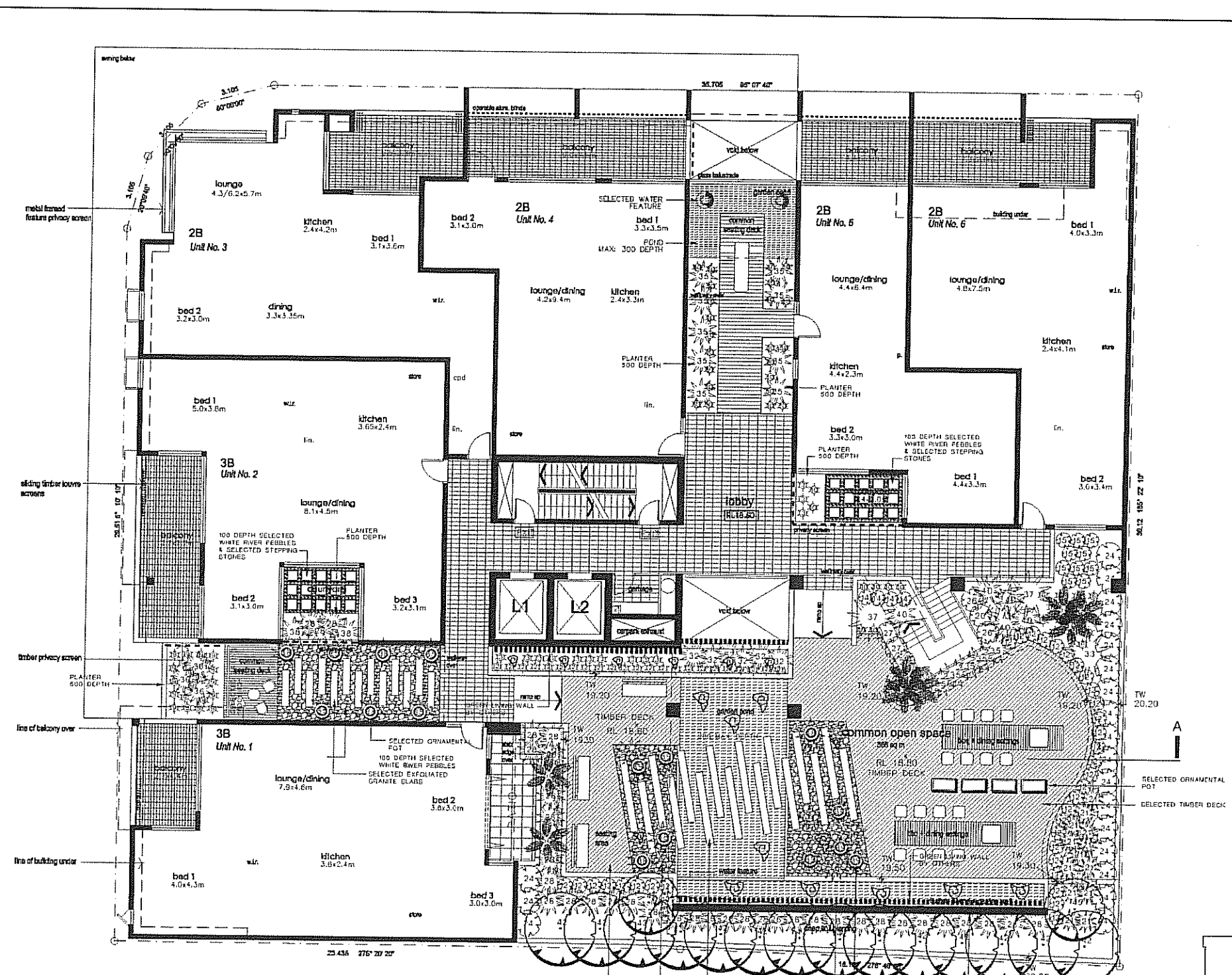
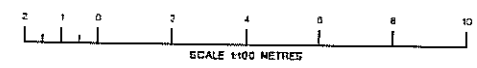
DRAWING TITLE			
LANDSCAPE CONCEPT PLAN			
DRAWN	FF	SCALE	1:100
DRAWING NUMBER			A
11031DA 1-4			
REVISION			
 Amelia Jurek of Landscape Designers & Managers Ltd			
			 NORTH

LEGEND

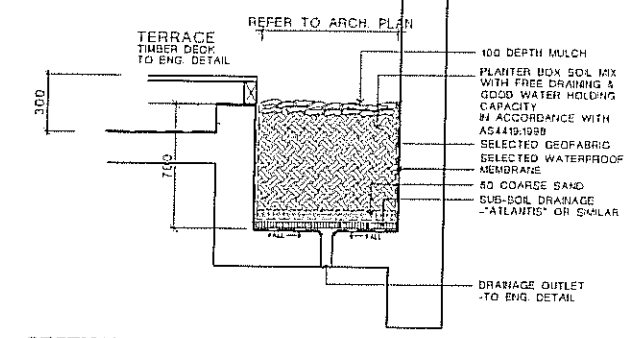
EXISTING RL
EXISTING TREE TO BE REMOVED
EXISTING TREE TO BE RETAINED
PROPOSED TREES, SHRUBS & GROUND COVER
PREFER NO. TO PLANT SCHEDULE
AGE
ALUMINIUM GARDEN EDGE TO MANUF. DETAIL & SPEC
100 DEPTH SELECTED WHITE RIVER PEBBLES
100 DEPTH BLACK RIVER PEBBLES WITH WEED MAT UNDER
SELECTED ORNAMENTAL POT
SELECTED CONC. STEPPING STONES
SELECTED SCULPTURE APPROX. 200 HIGH
SELECTED WATER FEATURE

FINISHES SCHEDULE

ITEM	MATERIAL
TERRACE	SELECTED TILES
SOIL	LAWN AREA 100 QUALITY TOP SOIL NATIVE GARDEN BED NATIVE GARDEN MIX EXOTIC GARDEN BED ORGANIC GARDEN MIX PLANTER BOX PLANTER BOX MIX AS ACCORDANCE WITH AS4419:1999
MULCH	PINE BARK 100MM REFER TO DETAIL 1
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	ALUMINIUM GARDEN EDGING OR AS SELECTED REFER TO DETAIL 1
RETAINING WALL	SELECTED MASONRY RETAINING WALL AND DRAINAGE TO ENG DETAIL
IRRIGATION	PROVIDE DRIP IRRIGATION SYSTEM TO ALL GARDEN & PLANTER BOX AREA AS ACCORDANCE WITH AS3500 AND SYDNEY WATER CODE IRRIGATION SHALL BE DESIGNED & INSTALLED BY QUALIFIED IRRIGATION CONTRACTORS.



Podium Level 2



SECTION A - PLANTER BOX DETAIL

NOTE:
INSTALLATION OF WATERPROOF MEMBRANE & SUB-SOIL
DRAINAGE SHALL BE BY QUALIFIED INSTALLERS & SHALL
BE AS PER MANUFACTURER'S DETAILS & SPECIFICATION

PROVIDE IRRIGATION SYSTEM TO
ALL PLANTER BOXES IN ACCORDANCE
WITH AS3500 AND SYDNEY
WATER CODE
IRRIGATION SHALL BE DESIGNED &
INSTALLED BY QUALIFIED IRRIGATION
CONTRACTORS.

REVISIONS

REV.	DESCRIPTION	DATE
A	COUNCIL DA ISSUE	10.3.11

- NOTE:**
1. Contractors must verify all dimensions of the site before commencing any work, at which time any errors should be reported to the architect.
 2. Do not make drawing if in doubt - AS1.
 3. This drawing is to be used in accordance with the Architect's, Engineer's and Surveyor's.
 4. All existing trees to be retained shall be protected as per arborist report & council requirements.
 5. All planting shall be in accordance with the AS 4375.
 6. Planting shall be done within 100mm of garden walls.
 7. No variation to the works to be carried out without prior approval from owner.
 8. All materials to be used shall be of the best quality and shall comply with the relevant standards and specifications.
 9. Construction of plant species or varieties shall be as per arborist report.
 10. Unless otherwise specified or indicated, all structures are to be built by the existing landscape architect.
 11. All water features & outlets are to be installed by the relevant Engineers.
 12. Provide sub-soil drainage to garden beds & plant boxes where required - To be installed on site.
 13. Refer to survey plan for position of all existing services.
 14. Refer to architectural drawings & Sections for existing and proposed ground levels.
 15. All dimensions shall comply with the relevant AS & AS 4375.
 16. All dimensions shall comply with the relevant AS & AS 4375.
 17. MAINTENANCE: All landscape works are to be maintained for a period of 12 months after completion. During this period, the contractor shall be responsible for the maintenance of the landscape works. All plants and trees shall be watered and mulched as required. All plants and trees shall be replaced if they die within the 12 month period. All plants and trees shall be replaced if they die within the 12 month period.

IMPORTANT NOTICE:

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ANY ALTERATION TO DESIGN AND PLANT MATERIAL MUST BE APPROVED BY THE ACCREDITED CERTIFIER

PROPOSED MIXED DEVELOPMENT
29 HUNTER STREET
PARRAMATTA

ARCHITECT:

architex

vision dynamics

landscape design
5 Blackland Road
Kilburn NSW 2071
PHONE: 02 9519 8356 FAX: 02 9519 8355
EMAIL: visiondynamics@architex.com.au

DRAWING TITLE

LANDSCAPE CONCEPT PLAN

DATE	FF	SCALE	1:100	REV	
DRAWING NUMBER	11031DA 2-4				A

MEMBER

Architex Australia
Landscape Design & Management Ltd

EXISTING AL

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE RETAINED

PROPOSED TREES, SHRUBS & GROUND COVER
(REFER NO. TO PLANT SCHEDULE)

ALUMINUM GARDEN EDGE TO MANUF. DETAIL & SPEC.

100 DEPTH SELECTED WHITE RIVER PEBBLES

100 DEPTH BLACK RIVER PEBBLES WITH WEED MAT UNDER

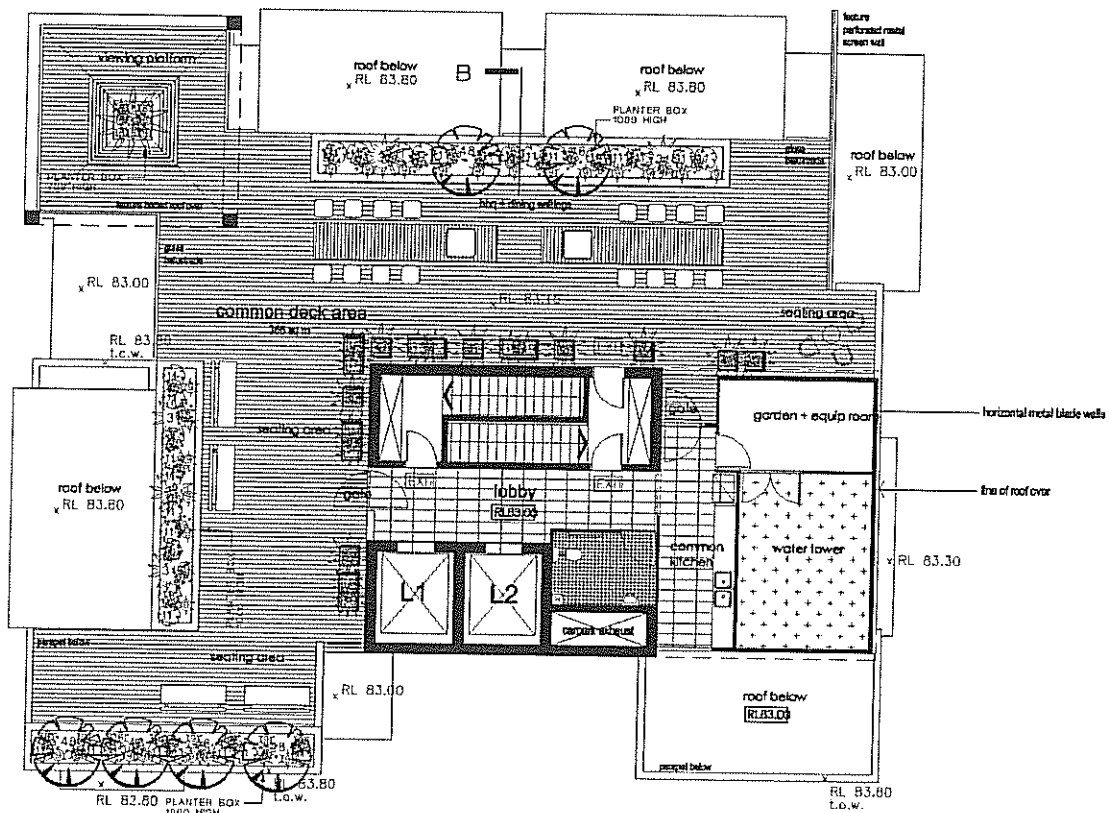
SELECTED ORNAMENTAL POT

SELECTED CONC. STEPPING STONE

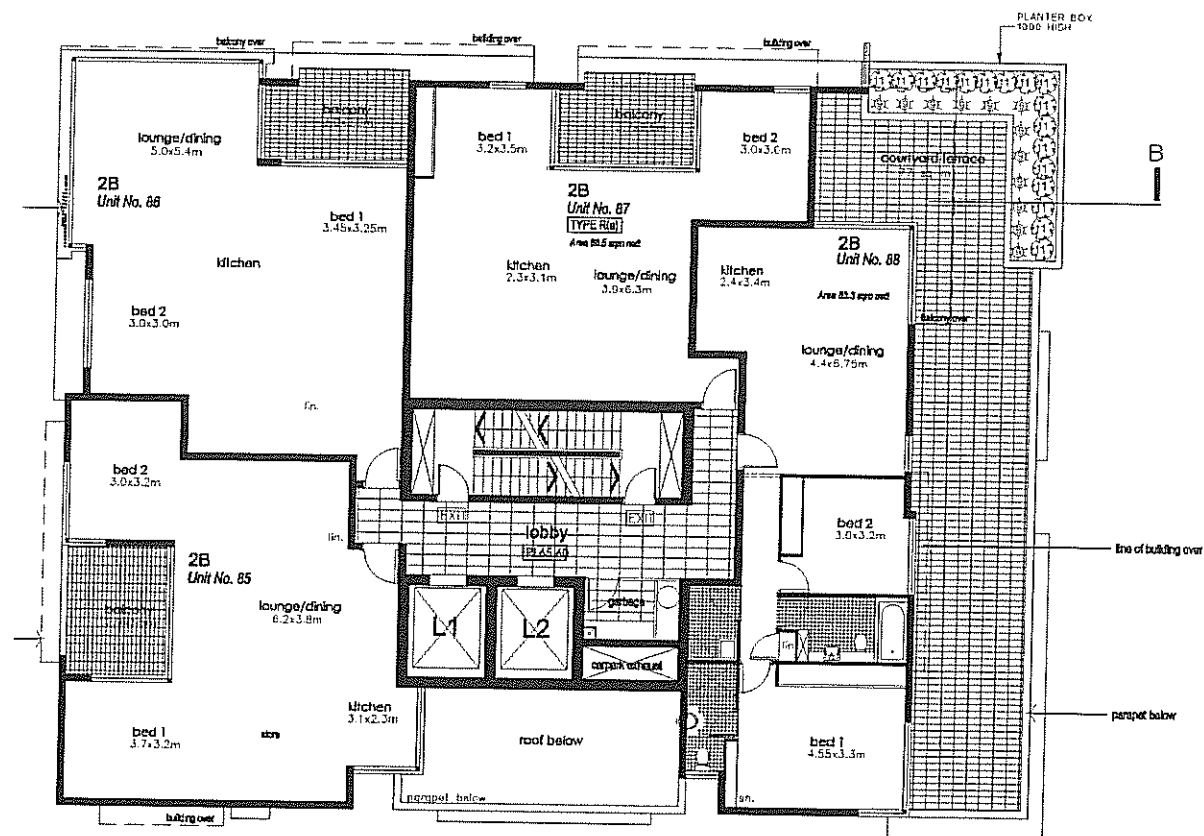
SELECTED SCULPTURE APPROX. 1200 HIGH

SELECTED WATER FEATURE

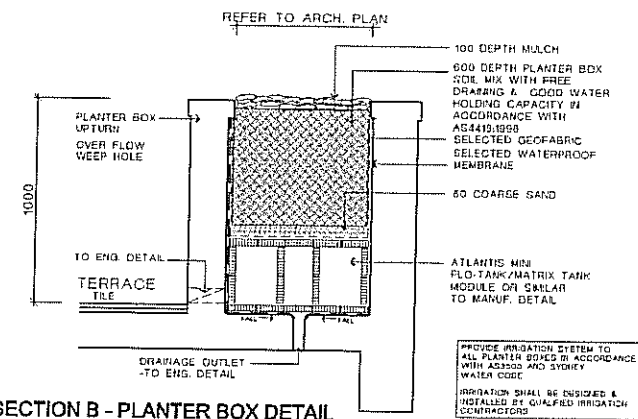
ITEM	MATERIAL
TERRACE	SELECTED TILES
SOL	LAWN AREA
NOTE ALL SOL TYPE AS PER AUST. NATIVE LANDSCAPE STYLE OR EQUIVALENT	1st QUALITY TOP SOL NATIVE GARDEN BED NATIVE GARDEN MIX EXOTIC GARDEN BED ORGANIC GARDEN MIX PLANTER BOX PLANTER BOX MIX 2nd ACCORDANCE WITH AS4310 10BB
MULCH	PINE BARK, AUGUSTS REFER TO DETAIL 1
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	ALUMINIUM GARDEN EDGING OR AS SELECTED REFER TO DETAIL 1
RETAINING WALL	SELECTED MASSIVY RETAINING WALL AND DRAINAGE TO END DETAIL
IRRIGATION	PROVIDE DHP IRRIGATION SYSTEM TO ALL GARDEN & PLANTER BOX AREA IN ACCORDANCE WITH AS3500 AND SUDNEY WATER CODE IRRIGATION SHALL BE DESIGNED & INSTALLED BY QUALIFIED IRRIGATION CONTRACTORS.



Roof Terrace Level 24



Tower Level 18



SECTION B - PLANTER BOX DETAIL

NOTE :
INSTALLATION OF WATERPROOF MEMBRANE & SUB-SOIL
DRAINAGE SHALL BE BY QUALIFIED INSTALLERS & SHALL
BE AS PER MANUFACTURER'S DETAILS & SPECIFICATION

PROPOSED PLANT SCHEDULE

No.	BOTANICAL NAME	COMMON NAME	APPROX MATURED HEIGHT	POT SIZE	QUANTITY
GROUND COVER / BORDER					
2	<i>Asplenium radiatum</i>	Common Maidenhair	0.8	19cm	23
3	<i>Philodendron s. 'Reddings'</i>	Redding Philodendron	climber	160mm	13
4	<i>Jasminum officinale</i>	Jasmine	climber	19cm	40
5	<i>Dianella Little Treas</i>	Flax Lily	0.8	19cm	56
6	<i>Calceolaria macynosa</i>	Calceolaria	0.8	19cm	19
7	<i>Cordyline 'Red Fountain'</i>	Cordyline	0.7	19cm	98
8	<i>Impatiens muscari</i>	Lily Toad	0.3	19cm	19
9	<i>Tradescantia 'Till. peduncul'</i>	Star Jasmine	0.3	19cm	239
10	<i>Gonolobus triflorus</i>	Mother-in-law's Tongue	0.8	19cm	41

LOW SHRUBS			
11	<i>Buxus microphylla</i> 'japonica'	Japanese Box	1.5 5 L 226
12	<i>Gardenia augusta</i> 'Florida'	Gardenia	1.2 5 L 36
14	<i>Fatsia japonica</i>	Japanese Aralia	1.5 5 L 4
15	<i>Philodendron sellowii</i>	Elephant's Ear	1.2 5 L 10
18	<i>Murrays paniculata</i>	Murray	2 5 L 25
21	<i>Catclaea sanderlingii</i>	Catclaea	0.7 5 L 17

TALL SHRUBS				
24	<i>Cassia sesamea</i>	Sesamea Cassia	4	25 1
25	<i>Diospyros amara</i>	Striped Dumb Can	15	5 1
27	<i>Diospyros seguine</i>	Dumb Can	15	5 1
28	<i>Heliconia stricta</i>	Heliconia	1	5 1

FEATURE SHRUBS				
31	<i>Corydalis "Carole Black"</i>	<i>Corydalis "Carole Black"</i> 13	25.1	22
32	<i>Physocarpus nigr</i>	<i>Black Elm</i>	8	25.1
33	<i>Dracopis draco</i>	<i>Dracopis</i>	4	100.1
35	<i>Rhaphis excelsa</i>	<i>Lady Palm</i>	1.5	25.1
36	<i>Cycas revoluta</i>	<i>Big Palm</i>	1.5	16.7
37	<i>Dischidia aristata</i>	<i>Soff Tree Fern</i>	3	25.1
38	<i>Dracaena marginata</i>	<i>Dracaena</i>	3	25.1
39	<i>Candellum variegatum</i>	<i>Croton</i>	1.5	5.1
40	<i>Asplenium australasicum</i>	<i>Bird's Nest Fern</i>	1	5.1

TREES			
47	<i>Syzygium leucomatum</i>	Small Leaf Lily Pilly	7 24 1 14
48	<i>Acro palmatum</i>	Japanese maple	5 75 1 2
48	<i>Magnolia Little Gem</i>	Magnolia	5 42 1 16
50	<i>Howea forsteriana</i>	Kentia Palm	10 15 1 8
55	<i>Pindsia australis</i>	Australian Teak	20 75 1 3

REV	DESCRIPTION	REV BY	REVISION DATE
A	COUNCIL DA ISSUE		10.3.11

NOTE:

- [illegible]

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AND CONDITIONS OF CONSENT

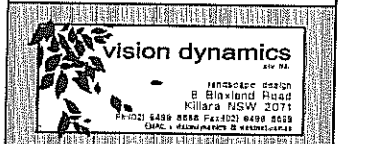
IT MUST BE NOTED THAT ANY
DEVIATION FROM THE APPROVED
DESIGN IS NOT AUTHORISED
UNDER THE DEVELOPMENT
CONSENT

ANY ALTERATION TO DESIGN AND
PLANT MATERIAL MUST BE
APPROVED BY THE ACCREDITED
CERTIFIER

PROPOSED MIXED DEVELOPMENT
29 HUNTER STREET
PARRAMATTA

ARCHITECT:

architex



DRAWING TITLE

**LANDSCAPE CONCEPT
PLAN**

DRAWING		FF	SCALE	1:100	REV.
DRAWING NUMBER					A
11031DA 4-4					
		MEMBER Australian Institute of Landscape Architects & Planners Ltd			